



PROJECT DIRECTORY

PROJECT OWNER  
REAL QUEST HOLDING, LLC  
MR. MICHAEL WANG C/O CHIH WANG  
3129 S HACIENDA BLVD. #649  
HACIENDA HEIGHTS, CA 91745  
CONTACT: CHIH WANG  
(626) 271-5322

ARCHITECT  
LANEY LA, INC.  
13110 HAWTHORNE BLVD.  
HAWTHORNE, CA 90250  
CONTACT: ANTHONY LANEY  
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(310) 498-2455

CIVIL ENGINEER  
APPLE ENGINEERING  
9080 TELSTAR AVE. #309  
EL MONTE, CA 91731  
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LILY@APPLEENGINEERING.NET  
(626) 552-9818

STRUCTURAL ENGINEER  
NOUS ENGINEERING, INC.  
527 WEST 7TH ST. SUITE 701  
LOS ANGELES, CA 90014  
CONTACT: OMAR GARZA  
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MECHANICAL/PLUMBING ENGINEER  
AIRPLUS ENGINEERING CONSULTANTS, LLC  
11517 BURBANK BLVD.  
NORTH HOLLYWOOD, CA 91601  
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ELECTRICAL ENGINEER  
JOHN R. HANZLIK & ASSOCIATES, INC.  
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VAN NUYS, CA 91406  
CONTACT: JOHN HANZLIK  
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(818) 901-1778

LANDSCAPE ARCHITECT  
RAINVILLE DESIGN STUDIO  
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GEOTECHNICAL ENGINEER  
CAL LAND ENGINEERING, INC.  
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BREA, CA 92821  
CONTACT: JACK LEE  
LEE@CALLANDENG.COM  
(714) 671-1050



LANEY LA  
LIFESTYLE + ARCHITECTURE

PROJECT NAME  
BIRCH

PROJECT NUMBER  
17065

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ABBREVIATIONS

®	AT	LAM	LAMINATE
A.F.F.	ABOVE FINISH FLOOR	LAV	LAVATORY
AFC	ABOVE FINISH GRADE	LT FXT	LIGHT FIXTURE
ACOUS	ACOUSTICAL	MAX	MAXIMUM
ADJ	ADJUSTABLE	MECH	MECHANICAL
ALUM	ALUMINUM	MTL	METAL
ANCH	ANCHOR	MIN	MINIMUM
APPROX	APPROXIMATELY	(N)	NEW
ATTEN	ATTENUATION	NIC	NOT IN CONTRACT
BD	BOARD	OC	ON CENTER
BLDG	BUILDING	OD	OUTSIDE DIAMETER
BLK	BLOCK	P.C.	PROPERTY CORNER
BM	BEAM	P.L.	PROPERTY LINE
B.O.	BOTTOM OF	PLT	PLATE
(C)	COMPACT PARKING STALL	PLAS	PLASTER
CA	CLEAR ANODIZED	PLWD	PLYWOOD
CAB	CABINET	R	RISERS
CER	CERAMIC	RD	ROOF DRAIN
CJ	CONTROL JOINT	R.O.	ROUGH OPENING
CL	CLOSET	RAD	RADIUS
C.L.	CENTER LINE	RDL	ROOF DRAIN LEADER
CLG	CEILING	REC	RECESSED
CLR	CLEAR	REINF	REINFORCED
CMU	CONCRETE MASONRY UNIT	REQ'D	REQUIRED
COL	COLUMN	RES	RESISTANT
CONC	CONCRETE	RESIL	RESILIENT
CONST	CONSTRUCTION	RET	RETAINING
CONT	CONTINUOUS	REV.	REVERSE
DBL	DOUBLE	RM	ROOM
DTL	DETAIL	S.S.	STAINLESS STEEL
DIA	DIAMETER	SV	SHEET VINYL
DIAG	DIAGONAL	SCHED	SCHEDULE
DIM	DIMENSION	SECT	SECTION
DOWN	DOWN	SAU	SELF-ADHERING UNDERLAYMENT
DS	DOWNSPOUT	SFR	SINGLE FAMILY RESIDENCE
DWG	DRAWING	SHT	SHEET
EA	EACH	SIM	SIMILAR
EL	ELEVATION	SPEC	SPECIFICATION
ELECT	ELECTRICAL	SQ	SQUARE
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	STL	STEEL
(E)	EXISTING	STRUCT	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPENDED
FD	FLOOR DRAIN	T	TREADS
FIN	FINISH	T&B	TOP AND BOTTOM
F.F.E.	FINISH FLOOR ELEVATION	T&G	TONGUE AND GROOVE
FLR	FLOOR	T.O.	TOP OF
FLUOR	FLUORESCENT	T.O.C.	TOP OF CONCRETE
F.O.	FACE OF	TOP	TOPPING
FT	FOOT	TELE	TELEPHONE
FTG	FOOTING	TEMP	TEMPERED
FV	FACE VERIFY	T.S.	TUBE STEEL
GA	GAUGE	TYP	TYPICAL
GI	GALVANIZED IRON	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	URM	UNREINFORCED MASONRY
GL	GLASS	VCT	VINYL COMPOSITION TILE
GYP BD	GYP SUM BOARD	W/	WITH
HD	HEAD	WC	WATER CLOSET
HDWD	HARDWOOD	WF	WIDE FLANGE
HORIZ	HORIZONTAL	WP	WATERPROOF
HT	HEIGHT	WD	WOOD
ID	INSIDE DIAMETER	WRB	WEATHER RESISTANT BARRIER
IN	INCH	±	PLUS OR MINUS
INSUL	INSULATION	#	NUMBER
INT	INTERIOR		

SYMBOLS

---	DASHED LINES INDICATE HIDDEN, OVERHEAD OR ITEMS TO BE REMOVED	APP-01	EQUIPMENT MARK
---	BUILDING FLOOR OR ELEVATION	PL-01	PLUMBING FIXTURES
---	PROPERTY LINE	PT-01	FINISH DESIGNATION
---	BREAK LINE - MATERIAL TO CONTINUE	1	KEYNOTE
---	GRIDLINE ON CENTER OF COLUMN	△	REVISION NUMBER
---	GRIDLINE TO FACE OF STRUCTURE	→	EXISTING ELEVATION
---	DIMENSION TO CENTERLINE	⊙	NEW ELEVATION
---	DIMENSION TO FACE	⊕	CONTROL POINT / DATUM
---	BUILDING SECTION	→	ALIGN
---	WALL SECTION	→	EXISTING WALL
---	DETAIL	→	NEW WALL
---	INTERIOR ELEVATION - MULTIPLE WALL	→	DIRECTION OF SLOPE TO DRAIN
---	INTERIOR ELEVATION - 1 WALL	☉	EXHAUST FAN
---	EXTERIOR ELEVATION	☉	FIRE SPRINKLER
---	ROOM NAME	☉	SMOKE DETECTOR
---	ROOM NUMBER	N	NORTH ARROW
---	WALL TYPE		
---	DOOR MARK		
---	WINDOW MARK		

MATERIALS

---	ALUMINUM
---	WOOD, FINISH
---	CONCRETE
---	CONCRETE MASONRY UNIT
---	EARTH
---	STONE
---	GRAVEL
---	SAND
---	GYP SUM BOARD
---	PLASTER IN SECTION & ELEVATION
---	CONCRETE IN PLAN & ELEVATION
---	CEMENT PLASTER
---	BATT INSULATION
---	RIGID INSULATION
---	PLYWOOD
---	GLASS
---	STEEL
---	CERAMIC TILE
---	METAL STUD IN PLAN, METAL TRACK BELOW
---	METAL STUD IN ELEVATION
---	METAL IN ELEVATION

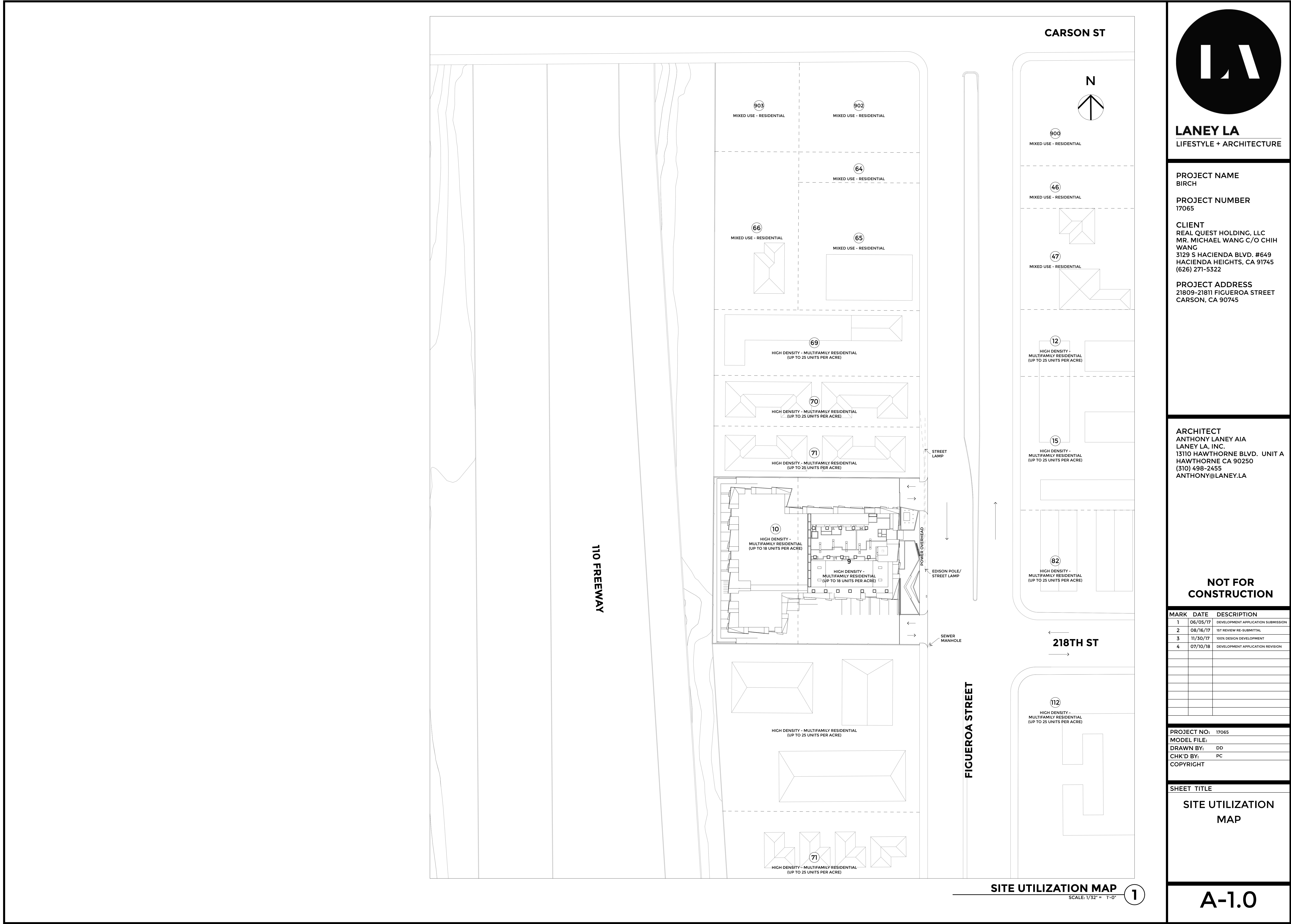
VICINITY MAP











**LANEY LA**  
LIFESTYLE + ARCHITECTURE

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3	11/30/17	100% DESIGN DEVELOPMENT
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**SHEET TITLE**  
  
**SITE UTILIZATION  
MAP**

**A-1.0**

**SITE UTILIZATION MAP**  
SCALE: 1/32" = 1'-0" **1**





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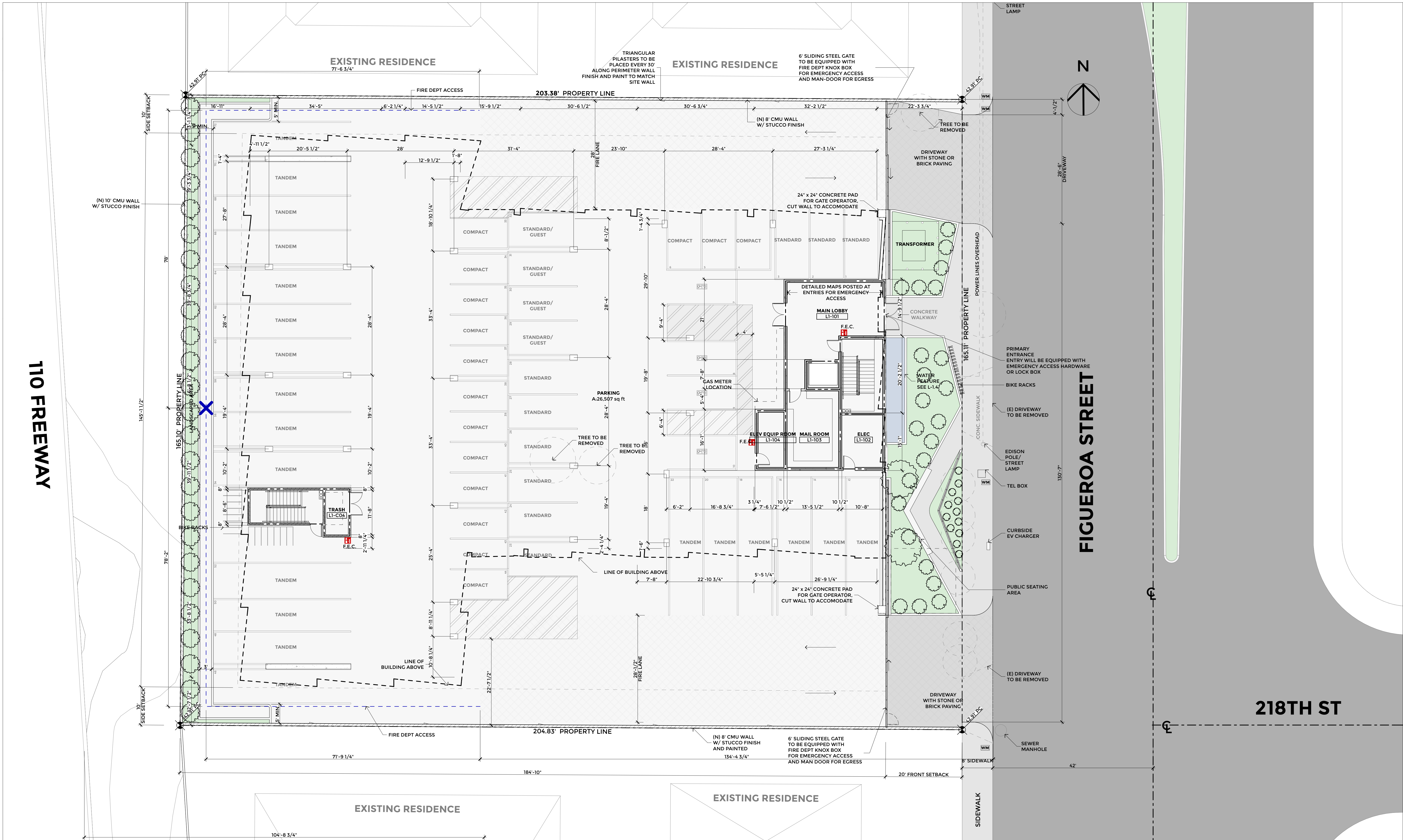
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SHEET TITLE  
SITE PLAN

G-115.0



UNIT BREAKDOWN			
UNIT #	PLAN TYPE	# OF BEDROOMS	AREA (SF)
1	A	2	1,108
2	K	2	1,104
3	H	2	1,427
4	C	3	1,705
5	E	3	1,774
6	C	3	1,774
7	G	2	1,978
8	I	2	1,326
9	B	2	1,100
10	B	2	1,103
11	J	2	1,135
12	A	2	920
13	K	2	1,108
14	K	2	1,104
15	H	2	1,427
16	C	3	1,701
17	E	3	1,774
18	G	2	1,978
19	I	2	1,326
20	B	2	1,100
21	B	2	1,103
22	J	2	1,135
23	F	3	1,381
24	I	3	1,918
25	H	2	1,427
26	N/A	2	1,705
27	E	3	1,774
28	D	3	1,979
29	I	2	1,326
30	B	2	1,100
31	B	2	1,103
32	J	2	1,135
TOTAL AREA:			44,208 SF

AREA BREAKDOWNS			
NET SIZE OF LOT:	33,703 SF		
GROSS FLOOR AREA:	52,616 SF		
NET FLOOR AREA:	44,208 SF		
PROPOSED DENSITY:	32 UNITS PER ACRE		
LOT COVERAGE RATIO:	64.05%		
FLOOR AREA RATIO:	156.12%		
LANDSCAPE COVERAGE RATIO:	19.12%		
PARKING BREAKDOWN			
NUMBER OF UNITS WITH 2 BEDROOMS:		21	
NUMBER OF UNITS WITH 3 BEDROOMS:		11	
TOTAL UNITS:		32	
PARKING REQUIREMENT			
NUMBER OF SPACES PER UNIT:		2 PER UNIT	
NUMBER OF GUEST SPACES (1/EVERY 4 UNITS):		8	
RESIDENCE PARKING:			
NUMBER OF UNITS:	32		
PARKING REQUIRED:	64		
GUEST PARKING:			
NUMBER OF GUEST SPACES (1/EVERY 4 UNITS):	8		
PARKING REQUIRED:	8		
TOTAL PARKING REQUIRED:	72		
TOTAL PARKING PROVIDED:	73		

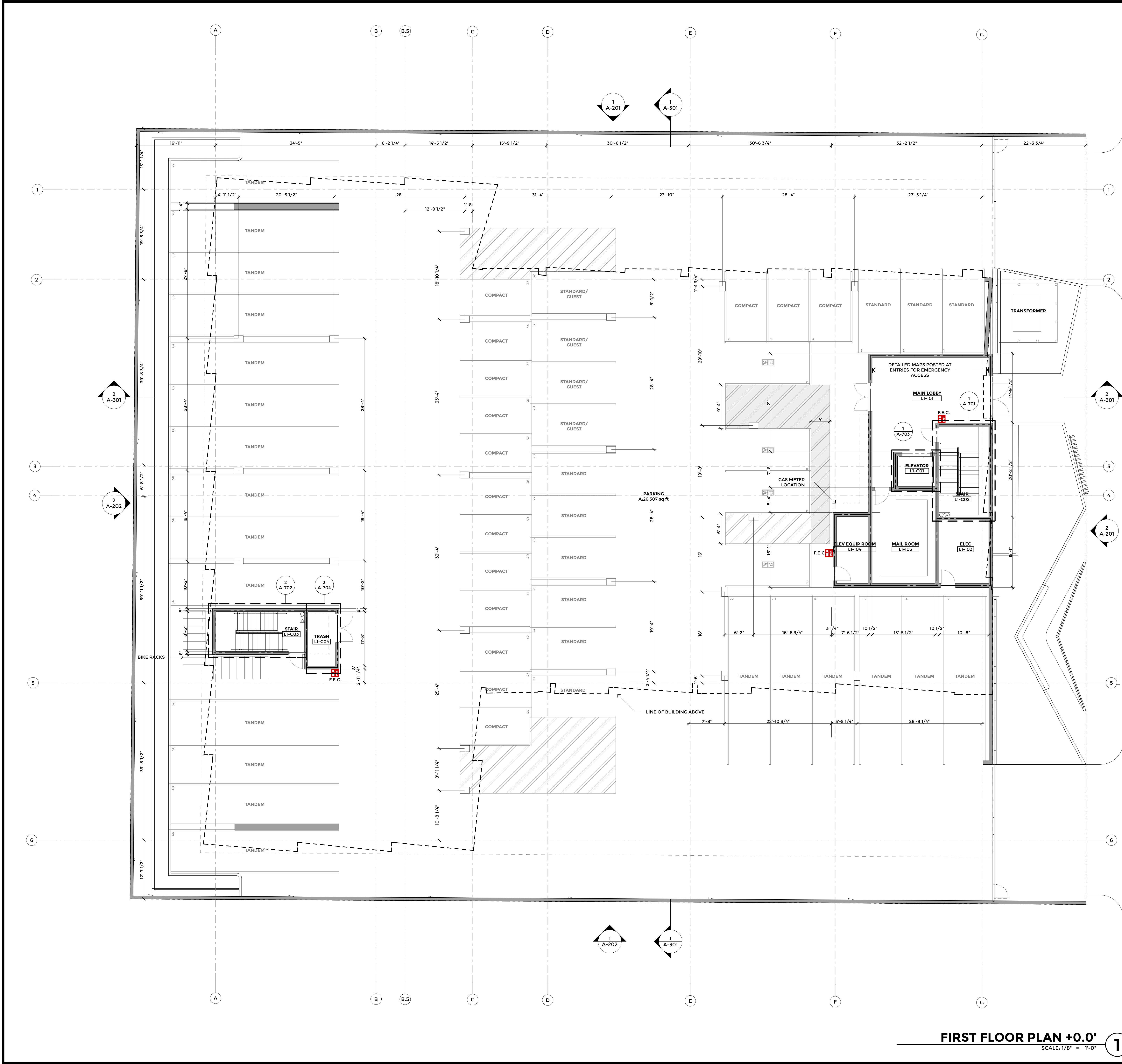
SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENTS

SITE PLAN +0.0'

SCALE: 3/32" = 1'-0"

1





GRAPHICS LEGEND

- CAST-IN-PLACE CONCRETE
- NO PARKING ZONE
- LIGHTWEIGHT CONCRETE FINISH
- ACRYLIC DECK COATINGS
- CMU WALL, SEE WALL TYPES SHEET
- FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
- CLASS 1 STANDPIPE

WALL FIRE SEPARATIONS LEGEND

- 1 HOUR FIRE PARTITION
- 2 HOUR FIRE PARTITION
- 3 HOUR FIRE PARTITION

SHEET NOTES

- REFER TO SHEET A0.02 FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.
- DIMENSIONS ARE TO CENTERLINE OF COLUMN, FACE OF STUD, FACE OF CONCRETE, OR FACE OF MASONRY, UNLESS NOTED OTHERWISE.
- ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING WORK.
- ALL STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL INFORMATION SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. REFER TO CONSULTANTS' DRAWINGS PREPARED BY THE ENGINEER, FOR ALL FRAMING. REFER TO STRUCTURAL DRAWINGS PREPARED BY THE STRUCTURAL ENGINEER, CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO BEGINNING WORK.
- APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.
- REFER TO SHEET 'WALL TYPES' FOR WALL TYPE DETAILS.
- REFER TO SHEETS 'BUILDING CODE ANALYSIS' FOR EGRESS, CODE ANALYSIS, AND FIRE RATED ASSEMBLY INFORMATION.
- REFER TO SHEETS 'SLAB PLANS' FOR GRADES AND DRAINAGE.
- REFER TO SHEETS 'FINISH PLANS' AND 'INTERIOR FINISH SCHEDULE' FOR FLOOR FINISHES.
- REFER TO SHEET 'WINDOW SCHEDULE AND TYPES' AND 'STORE FRONT SCHEDULE AND TYPES' FOR WINDOW AND STOREFRONT TYPES AND GLAZING INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION JOINTS OF WALKS AND HARDSCAPE AREA.
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SHEET TITLE

FLOOR PLAN - FIRST  
FLOOR

A-101

FIRST FLOOR PLAN +0.0'

SCALE: 1/8" = 1'-0"

1





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SHEET TITLE

FLOOR PLAN -  
SECOND FLOOR

A-102

## GRAPHICS LEGEND

- CAST-IN-PLACE CONCRETE
- NO PARKING ZONE
- LIGHTWEIGHT CONCRETE FINISH
- ACRYLIC DECK COATINGS
- CMU WALL, SEE WALL TYPES SHEET
- FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
- CLASS 1 STANDPIPE

## WALL FIRE SEPARATIONS LEGEND

- 1 HOUR FIRE PARTITION
- 2 HOUR FIRE PARTITION
- 3 HOUR FIRE PARTITION

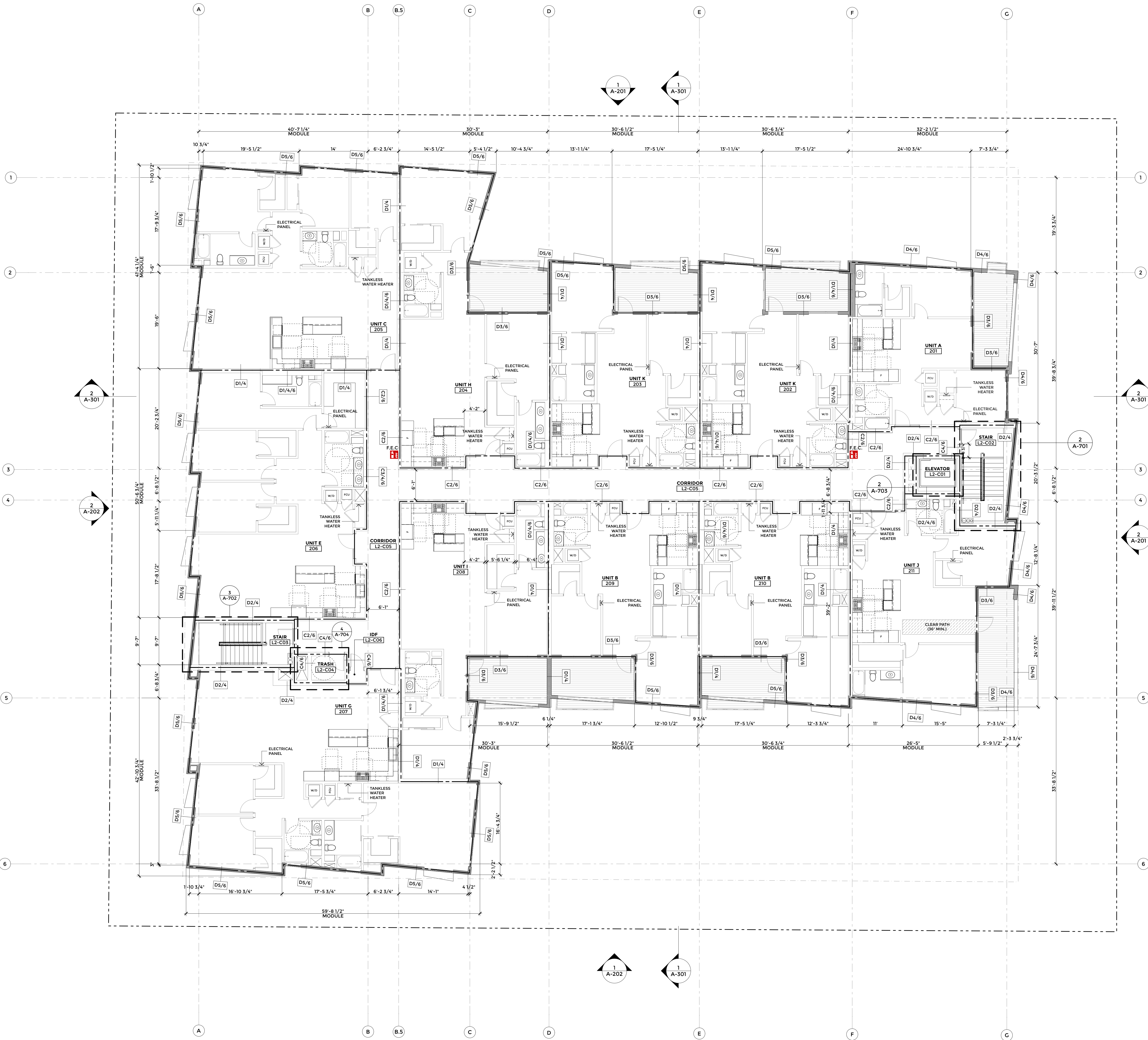
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SECOND FLOOR PLAN +10.0'

SCALE: 1/8" = 1'-0"

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SHEET TITLE  
FLOOR PLAN -  
THIRD FLOOR

A-103

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- APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.
- REFER TO SHEET "WALL TYPES" FOR WALL TYPE DETAILS.
- REFER TO SHEETS "BUILDING CODE ANALYSIS" FOR EGRESS, CODE ANALYSIS, AND FIRE RATED ASSEMBLY INFORMATION.
- REFER TO SHEETS "SLAB PLANS" FOR GRADES AND DRAINAGE.
- REFER TO SHEETS "FINISH PLANS" AND "INTERIOR FINISH SCHEDULE" FOR FLOOR FINISHES.
- REFER TO SHEET "WINDOW SCHEDULE AND TYPES" AND "STORE FRONT SCHEDULE AND TYPES" FOR WINDOW AND STOREFRONT TYPES AND GLAZING INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION JOINTS OF WALKS AND HARDSCAPE AREA.
- ALL ILLUMINATED EXIT SIGNS SHOWN SHALL BE CLEARLY VISIBLE AND NOT OBSTRUCTED BY PIPES, MECHANICAL DUCTWORK, EQUIPMENT, ETC. CONTRACTOR TO PROVIDE PENDANT EXTENSIONS AT ALL CEILING HUNG EXIT SIGNS AS REQUIRED PER GOVERNING CODE REQUIREMENTS.
- WALKING SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP RESISTANT SURFACE AND BE SECURELY ATTACHED.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
- PROVIDE FURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAIN LINES THAT EXTEND UP THE INTERIOR WALL SURFACE.
- PROVIDE 2A-10BC FIRE EXTINGUISHER IN LOCATIONS AS REQUIRED BY FIRE DEPARTMENT. PROVIDE SIGN, APPROVED BY THE FIRE DEPARTMENT, REQUIRED TO INDICATE THE LOCATION OF THE FIRE EXTINGUISHER.
- SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- TANDUM SPACES TO BE ASSIGNED TO THE SAME UNIT.

THIRD FLOOR PLAN +20.0'

SCALE: 1/8" = 1'-0"

1





LANEY LA  
LIFESTYLE + ARCHITECTURE

PROJECT NAME  
BIRCH

PROJECT NUMBER  
17065

CLIENT  
REAL QUEST HOLDING, LLC  
MR. MICHAEL WANG C/O CHIH WANG  
3129 S HACIENDA BLVD. #649  
HACIENDA HEIGHTS, CA 91745  
(626) 271-5322

PROJECT ADDRESS  
21809-21811 FIGUEROA STREET  
CARSON, CA 90745

ARCHITECT  
ANTHONY LANEY AIA  
LANEY LA, INC.  
13110 HAWTHORNE BLVD. UNIT A  
HAWTHORNE CA 90250  
(310) 498-2455  
ANTHONY@LANEY.LA

NOT FOR  
CONSTRUCTION

MARK	DATE	DESCRIPTION
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3	11/30/17	100% DESIGN DEVELOPMENT
4	04/12/18	REVISED CITY SUBMITTAL
5	07/10/18	DEVELOPMENT APPLICATION REVISION

PROJECT NO: 17065  
MODEL FILE:  
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SHEET TITLE  
FLOOR PLAN -  
FOURTH FLOOR

A-104

### GRAPHICS LEGEND

- CAST-IN-PLACE CONCRETE
- NO PARKING ZONE
- LIGHTWEIGHT CONCRETE FINISH
- ACRYLIC DECK COATINGS
- CMU WALL, SEE WALL TYPES SHEET
- FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
- CLASS 1 STANDPIPE

### WALL FIRE SEPARATIONS LEGEND

- 1 HOUR FIRE PARTITION
- 2 HOUR FIRE PARTITION
- 3 HOUR FIRE PARTITION

### SHEET NOTES

- REFER TO SHEET A0.02 FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.
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- SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- TANDUM SPACES TO BE ASSIGNED TO THE SAME UNIT.

FOURTH FLOOR PLAN +30.0'

SCALE: 1/8" = 1'-0"

1





LANEY LA  
LIFESTYLE + ARCHITECTURE

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BIRCH

PROJECT NUMBER  
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SHEET TITLE  
FLOOR PLAN - ROOF  
LEVEL

A-105

## GRAPHICS LEGEND

- CAST-IN-PLACE CONCRETE
- NO PARKING ZONE
- LIGHTWEIGHT CONCRETE FINISH
- ACRYLIC DECK COATINGS
- CMU WALL, SEE WALL TYPES SHEET
- FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
- CLASS 1 STANDPIPE

## WALL FIRE SEPARATIONS LEGEND

- 1 HOUR FIRE PARTITION
- 2 HOUR FIRE PARTITION
- 3 HOUR FIRE PARTITION

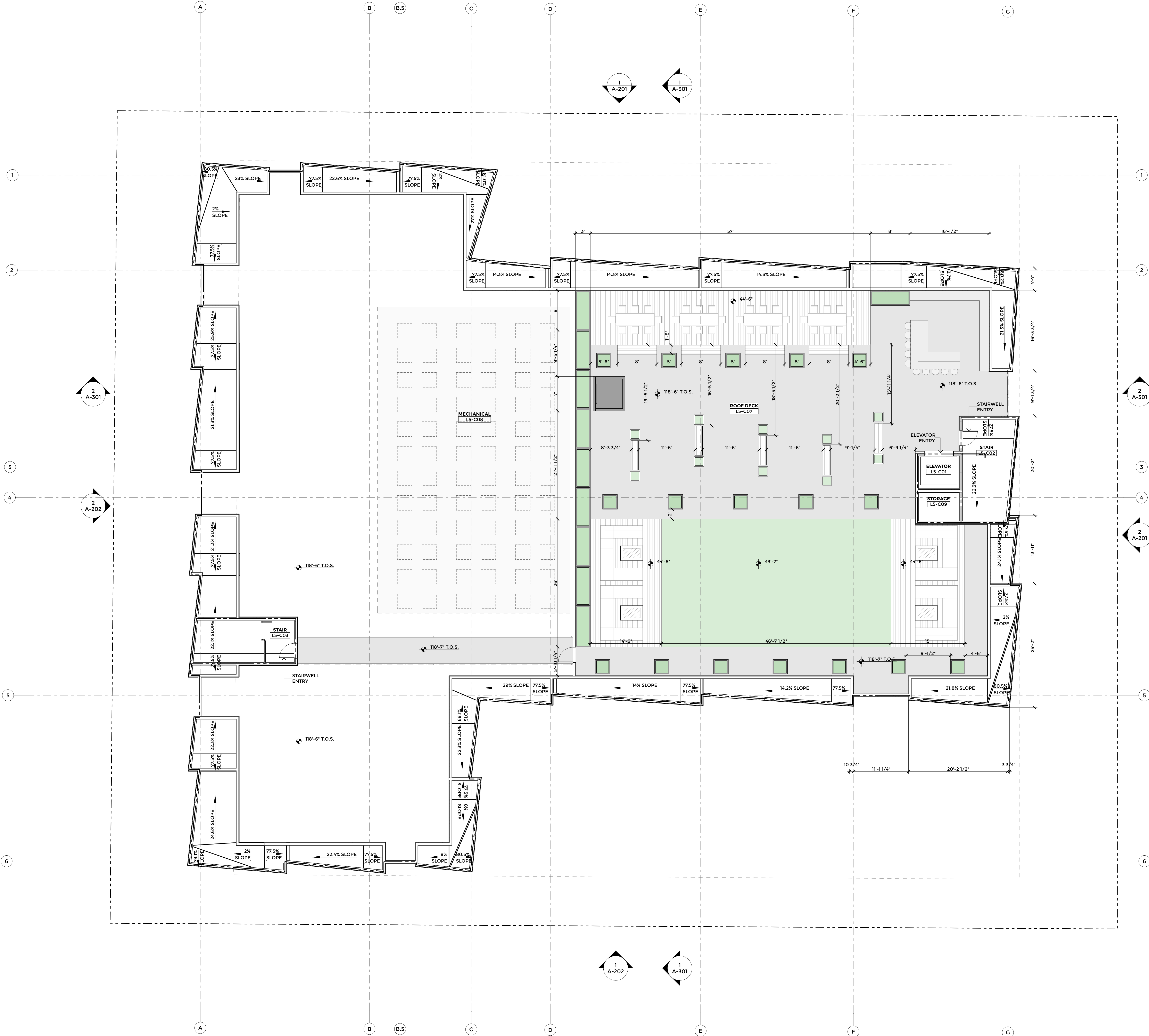
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- REFER TO SHEET 'DETAILS- THERMAL AND MOISTURE PROTECTION' FOR GENERAL ROOF DETAILS.
- ROOFING: CLASS A, UL APPROVED ROOFING SYSTEM.
- ALL ROOF ELEVATIONS ARE GIVEN FROM REFERENCE DATUM 0' 0" ON A1.01.
- ALL ROOF SLOPES SHALL BE 1/4" / FOOT MINIMUM, INCLUDING SLOPES AT VALLEYS.
- ROOFING CONTRACTOR SHALL CONFIRM THAT ALL AREAS OF THE ROOF ARE PROVIDED WITH POSITIVE DRAINAGE.
- SIZE THE ROOF DRAINS AND OVERFLOW DRAINS IN ACCORDANCE WITH CHAPTER 11 OF (CBC 1503.4)
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SIZES AND LOCATION OF ROOF OPENINGS, VENTS, DUCTS, PLATFORMS, PREFABRICATED CURBS, ETC. COORDINATE SIZE OF MECHANICAL EQUIPMENT AND DUCT OPENINGS SHOWN AND SPECIFIED ON MECHANICAL PLANS AND COORDINATE THE LOCATION OF THE POWER.
- SECURITY BARRIERS, VISUAL SCREEN BARRIERS, OR OTHER OBSTRUCTIONS SHALL NOT BE INSTALLED ON THE ROOF OF ANY BUILDING IN SUCH A MANNER AS TO OBSTRUCT FIRE FIGHTER ACCESS OR EGRESS IN THE EVENT OF FIRE OR EMERGENCY. PARAPETS SHALL NOT EXCEED THE HEIGHT REQUIRED FROM THE TOP OF THE PARAPET TO THE ROOF SURFACE ON MORE THAN TWO SIDES PER GOVERNING CODE REQUIREMENTS.
- ALL ROOF PENETRATIONS FOR PLUMBING VENTS, ELECTRICAL CONDUITS, ETC. SHALL BE FLASHED (WATERTIGHT) PER SPECIFICATIONS AND STANDARD DETAILS. PLUMBING VENTS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTAL OR 3 FEET ABOVE OUTSIDE AIR INTAKE OF THE A.C. UNIT OR MAKEUP AIR UNIT.
- SYSTEM SHALL BE SIZED FOR MIN. RAIN INTENSITY OF 3" PER HOUR.
- THE ROOF DRAIN AND OVERFLOW DRAIN MUST MAINTAIN IN DEPENDENT LINES TO THE YARD BOX
- ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY.
- SECONDARY ROOF DRAINS HAVING THE SAME SIZE AS THE PRIMARY ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED A MIN. 2' ABOVE THE LOW POINT OF THE ROOF.
- SCUPPERS THROUGH PARAPET WALLS ADJACENT TO THE LOW POINT OF THE ROOF MAYBE USED AS SECONDARY ROOF DRAINAGE. SCUPPER OPENINGS SHALL BE A MIN. OF 4" HIGH AND HAVE A WIDTH EQUAL TO THE AREA SERVED.
- OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO CPCT1101.11.

## ROOF PLAN

SCALE: 1/8" = 1'-0"

1







LANEY LA  
LIFESTYLE + ARCHITECTURE

PROJECT NAME  
BIRCH

PROJECT NUMBER  
17065

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MODEL FILE:	
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SHEET TITLE

BUILDING  
ELEVATIONS

A-201







LANEY LA  
LIFESTYLE + ARCHITECTURE

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SHEET TITLE
BUILDING ELEVATIONS

A-202



\*ALL OPERABLE WINDOWS ON WEST FACADE TO BE USED FOR EGRESS ONLY;  
WINDOWS TO BE HARDWIRED TO FIRE ALARM TO TRIGGER WHEN OPENED





LANEY LA  
LIFESTYLE + ARCHITECTURE

PROJECT NAME  
BIRCH

PROJECT NUMBER  
17065

CLIENT  
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MR. MICHAEL WANG C/O CHIH WANG  
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MODEL FILE:

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SHEET TITLE

BUILDING SECTIONS

A-301



EW SECTION 2  
SCALE: 1/8" = 1'-0"

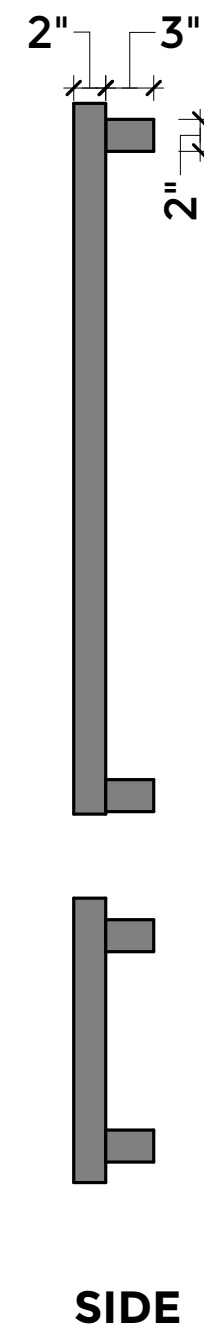
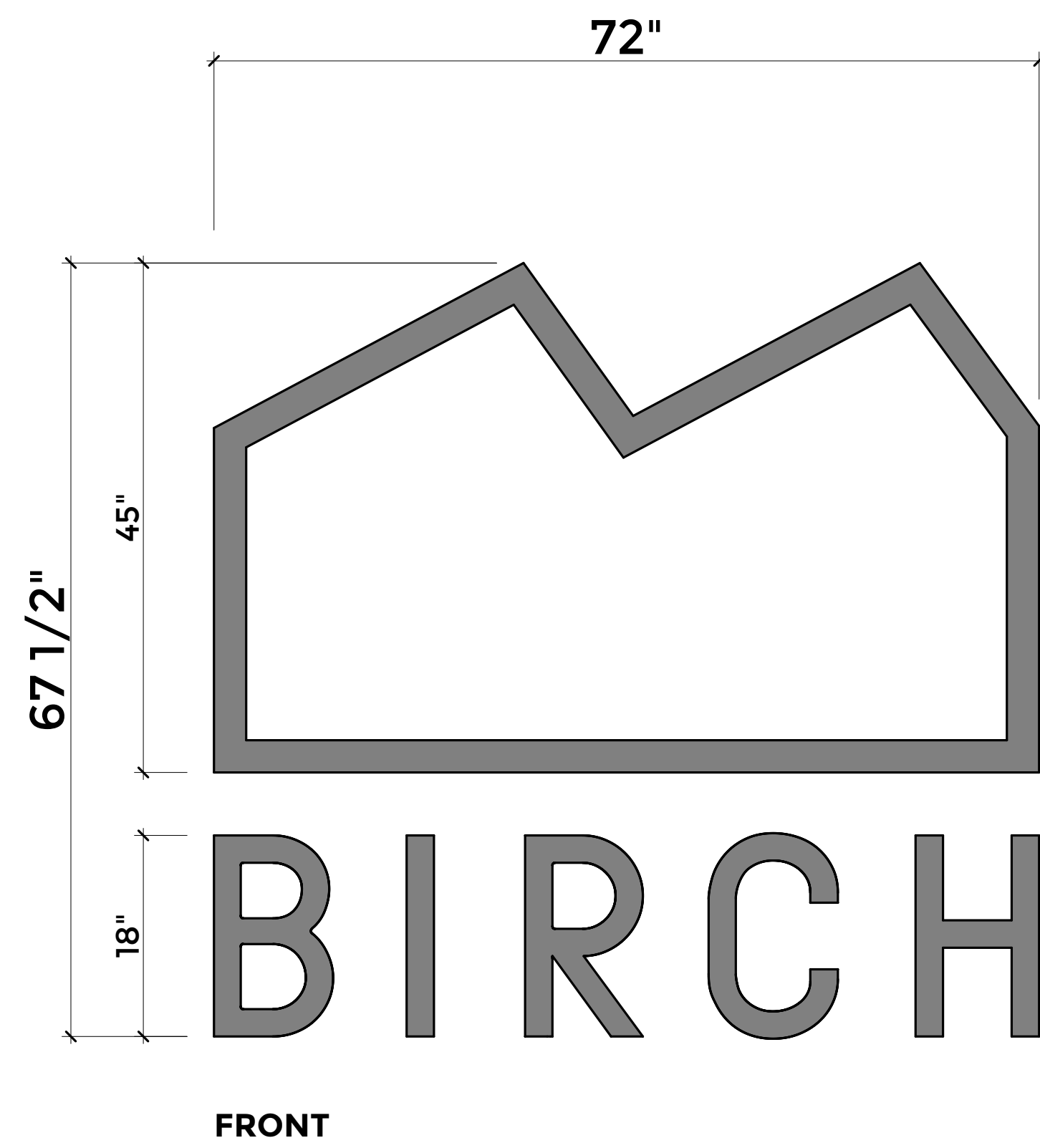


NS SECTION 1  
SCALE: 1/8" = 1'-0"

KEYNOTES

- WOOD STUD WALL WITH BRICK VENEER
- VERTICAL WOOD CLADDING
- WOOD STUD WALL WITH SANDY GREY STUCCO FINISH
- 2" METAL RAILING SET AT 42" HIGH WITH 3/8" GAP
- 42" PAINTED METAL RAILING
- CONCRETE COLUMNS PAINTED WHITE
- CONCRETE WALL WITH STUCCO FINISH, PAINTED WHITE
- CONCRETE SLAB
- WOOD FLOOR ASSEMBLY
- INTERIOR STUD WALL
- 42" PLANTER WITH BRICK VENEER
- ROOF DECK ASSEMBLY
- SLIDING DOOR
- WOOD CABANA
- FIXED WINDOW WITH AWNING WINDOW ABOVE
- OUTDOOR KITCHEN
- OVERHANG WITH WOOD CLADDING
- STUD WALL WITH WOOD CLADDING
- MECHANICAL EQUIPMENT SCREENING
- STEEL PLATE AWNING, PAINTED TO MATCH WINDOW FRAME COLOR

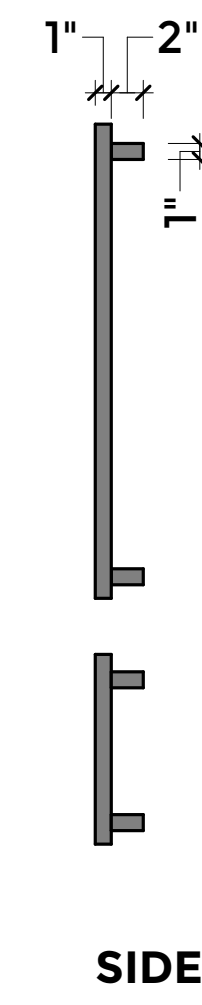
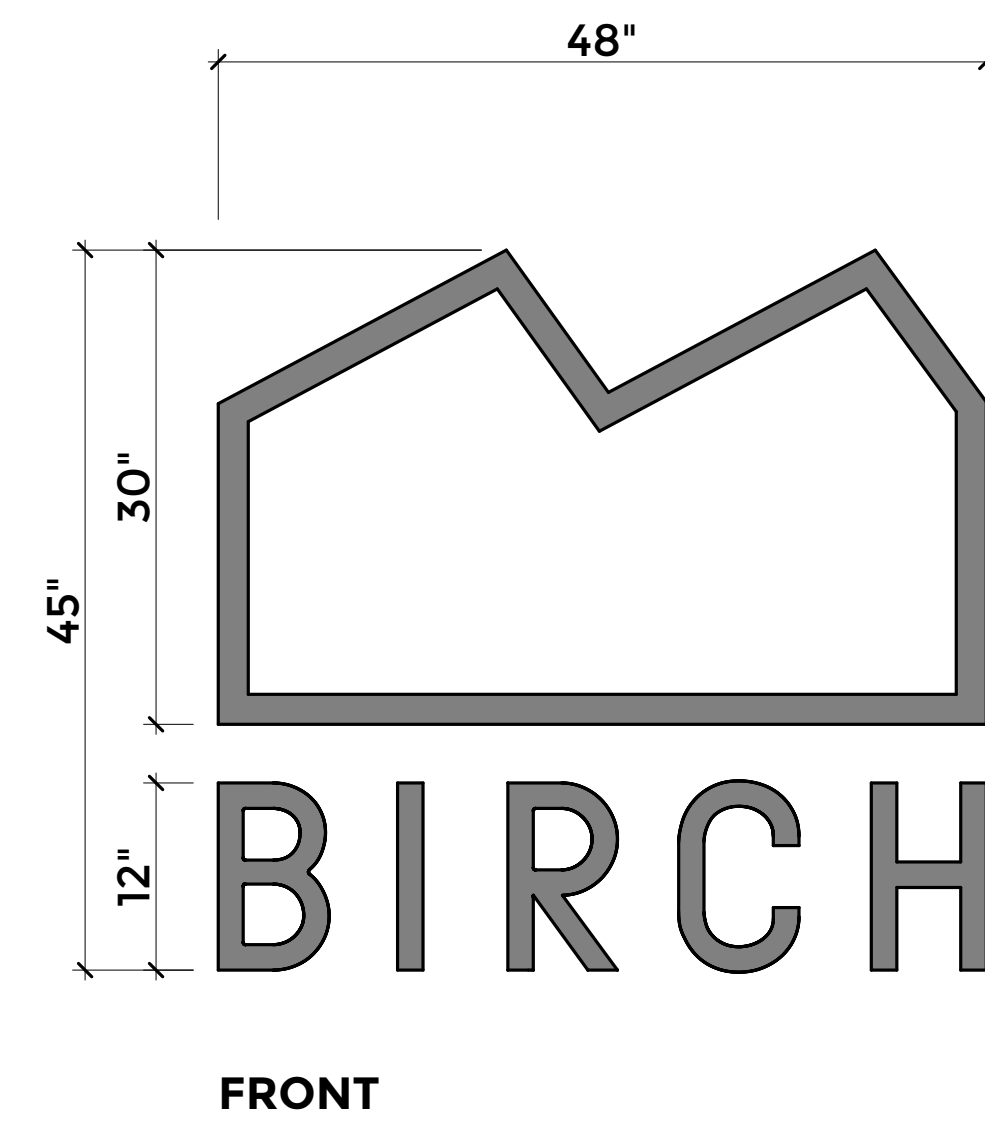




**SIGN B**  
SCALE: 1" = 1'-0" **2**

**SIGN DESCRIPTION:**  
INDIVIDUAL ALUMINUM FABRICATED  
HALO CHANNEL LETTERS WITH LED  
BACKLIGHTING.

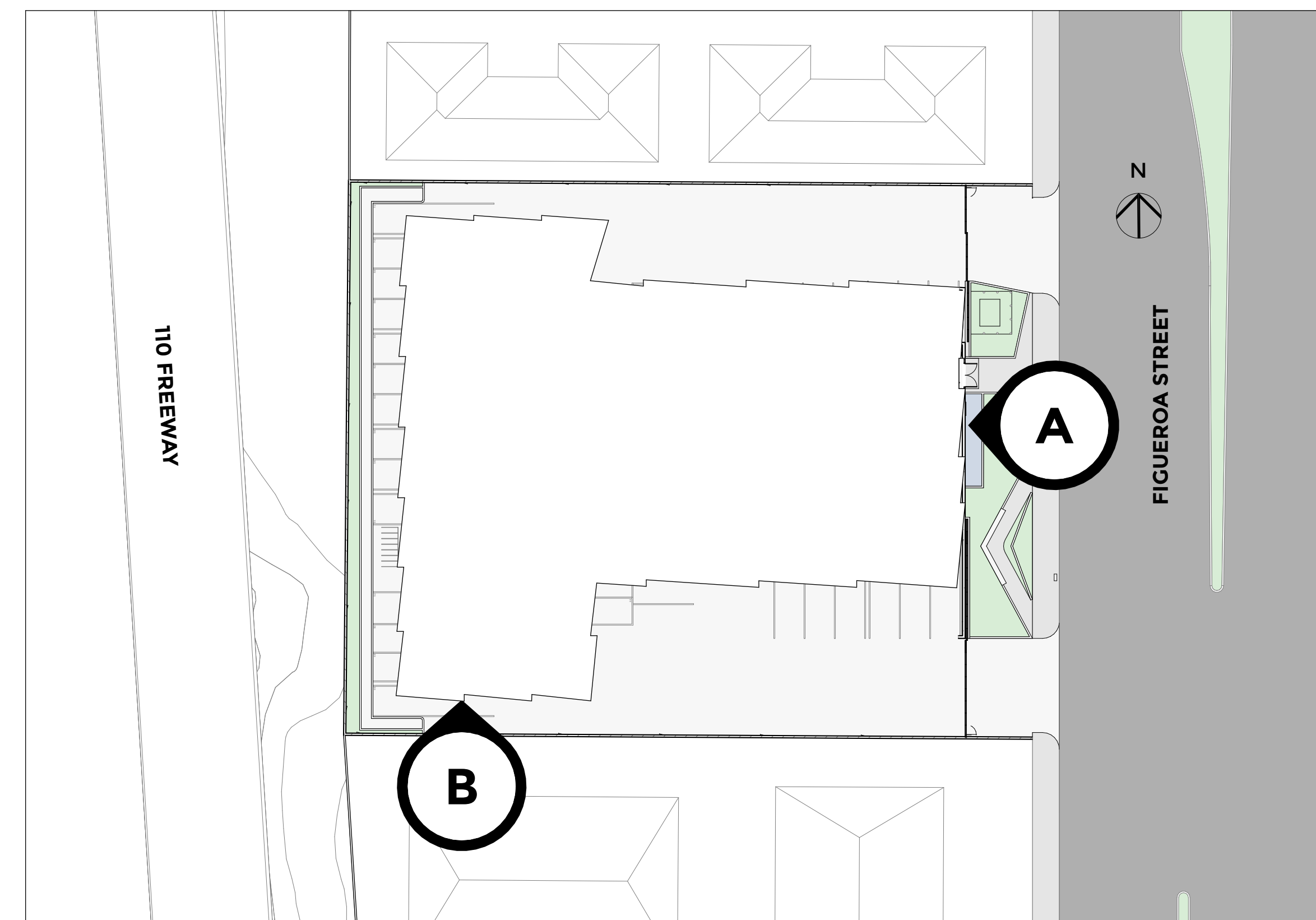
**SIGN AREA:**  
34 SF, HEIGHT NOT TO EXCEED 68"



**SIGN A**  
SCALE: 1" = 1'-0" **1**

**SIGN DESCRIPTION:**  
INDIVIDUAL ALUMINUM FABRICATED  
HALO CHANNEL LETTERS WITH LED  
BACKLIGHTING.

**SIGN AREA:**  
15 SF, HEIGHT NOT TO EXCEED 45"



**SIGNAGE PLAN**  
SCALE: 1/32" = 1'-0" **3**



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
BIRCH

**PROJECT NUMBER**  
17065

**CLIENT**  
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**SHEET TITLE**

**SIGNAGE PLAN**

**A-6.0**









**LANEY LA**  
LIFESTYLE + ARCHITECTURE

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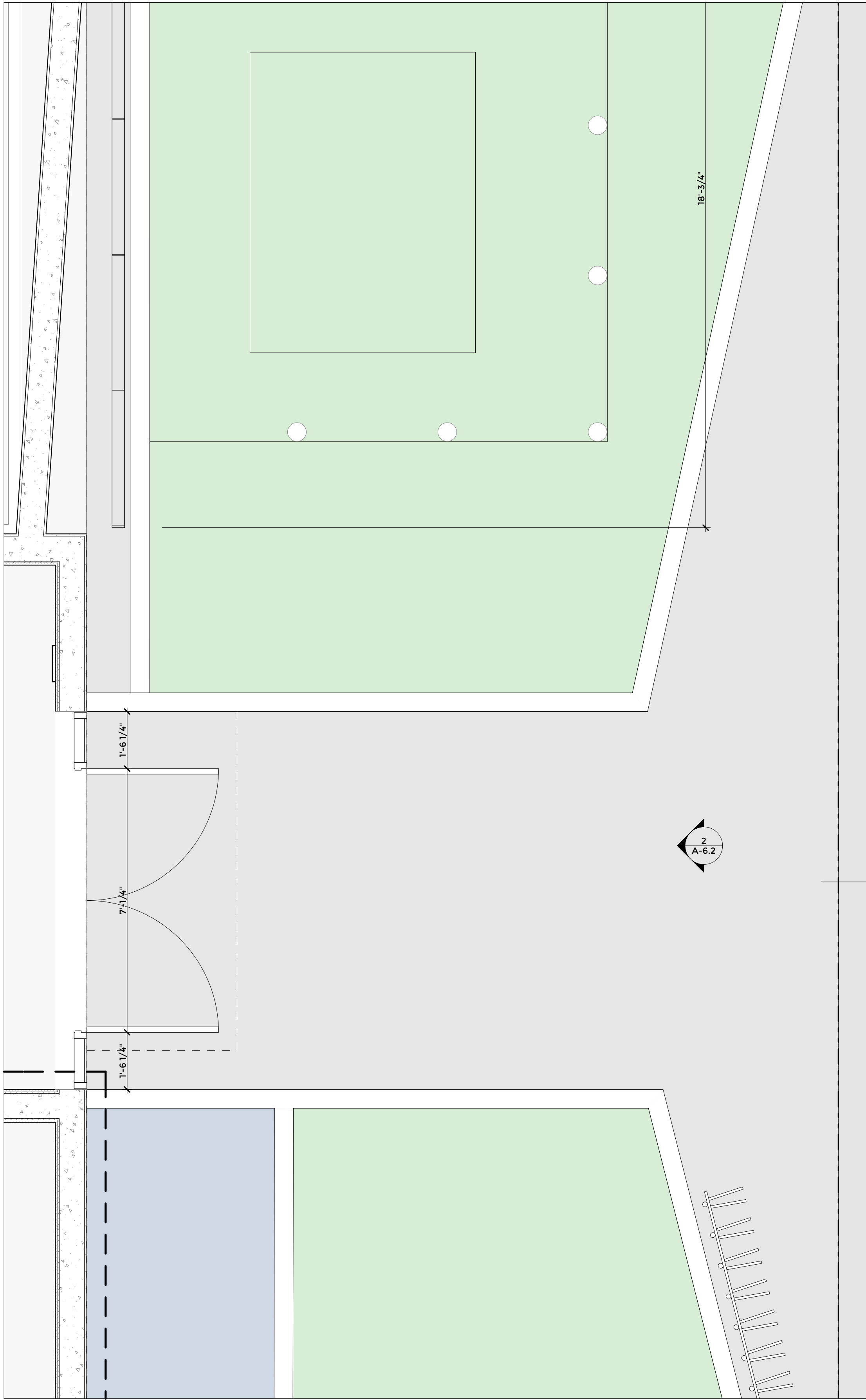
**SHEET TITLE**

**MAIN ENTRY  
ENLARGED  
DRAWINGS**

**A-6.2**



**ENTRY PERSPECTIVE**  
SCALE: 1" = 1'-0" **3**



**ENTRY PLAN**  
SCALE: 1/2" = 1'-0" **1**



**ENTRY ELEVATION**  
SCALE: 1/4" = 1'-0" **2**



LANDSCAPE LIGHTING



TITAN TREE UP-LIGHT  
SPJ LIGHTING INC.  
GUN METAL FINISH



SPJ-MMW1 WALL WASHER LIGHT  
SPJ LIGHTING INC.  
GUN METAL FINISH



12V UNDERWATER LIGHT  
VISTA PRO LIGHTING  
STAINLESS STEEL FINISH



LED RECESSED BOX  
SPJ LIGHTING INC.  
GUN METAL FINISH



SLIDING GATE PAINT COLOR  
BENJAMIN MOORE  
BLACK IRON



FIBER CEMENT BOARD SIDING  
(FACADE ACCENT MATERIAL, EXTERIOR  
BALCONY SIDING)  
JAMES HARDIE  
HARDIE PANEL VERITCAL SIDING  
SMOOTH  
TIMBER BARK



EXTERIOR STUCCO AT LEVELS 2 AND  
HIGHER WHERE BRICK DOES NOT OCCUR  
OMEGA COLORTEK  
16/20 SAND FINISH STUCCO  
PAINT WITH BENJAMIN MOORE  
BLACK IRON

\* THE PROJECT WILL ALSO USE RECYCLED  
ASPHALT AT THE PARKING LEVEL AND FLY-  
ASH IN CONCRETE FOR THE CONCRETE  
PODIUM



EXTERIOR BRICK FACADES  
ENDICOTT  
THIN BRICK  
MANGANESE



EXTERIOR STUCCO FACADES AT GROUND  
FLOOR LEVEL  
OMEGA COLORTEK  
16/20 SAND FINISH STUCCO  
PAINT WITH BENJAMIN MOORE  
TAOS TAUPE



EXTERIOR STUCCO PERIMETER WALL  
OMEGA COLORTEK  
16/20 SAND FINISH STUCCO  
PAINT WITH BENJAMIN MOORE  
DIOR GRAY



LANEY LA  
LIFESTYLE + ARCHITECTURE

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SHEET TITLE

MATERIALS

A-6.3





**A** STIPA TENUISSIMA  
'MEXICAN FEATHERGRASS'  
(WUCOLS - LOW)



**B** AGAVE ATTENUATA  
'FOX TAIL AGAVE'  
(WUCOLS - LOW)



**C** SENECIO SERPENS  
'BLUE CHALKSTICKS'  
(WUCOLS - LOW)



**D** EUPHORBIA MYRSINITES  
'MYRTLE SPURGE'  
(WUCOLS - LOW)



**E** PARTHENOCISSUS TRICUSPIDATA  
'BOSTON IVY'  
(WUCOLS - MEDIUM)



**F** CAREX TUMULICOLA  
'BERKELEY SEDGE'  
(WUCOLS - LOW)



**G** MISCANTHUS SINENSIS 'MORNING LIGHT'  
'MAIDEN GRASS'  
(WUCOLS - MEDIUM)



**H** GINKGO BILOBA 'PRINCETON SENTRY'  
'MAIDENHAIR TREE'  
(WUCOLS - MEDIUM)



**J** PODOCARPUS ELONGATUS ICEE BLUE  
'YELLOW WOOD'  
(WUCOLS - MEDIUM)



**K** OLEA EUROPAEA 'SWAN HILL'  
'FRUITLESS OLIVE'  
(WUCOLS - LOW)



**M** WESTRINGIA FRUTICOSA 'MORNING LIGHT'  
'COAST ROSEMARY'  
(WUCOLS - LOW)



**N** KURAPIA  
'SOD'  
(WUCOLS - LOW)

NOTE:  
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WRITING FROM MIRIAM RAINVILLE

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CALIFORNIA 90745

rainville • design • studio  
landscape design + planning

1632 aviation blvd  
redondo beach  
california 90278

ph 310.378.2650  
miriam@rainvilledesign.com

REVISION	
09.26.2017	
11.02.2017	
11.20.2017	
11.21.2018	

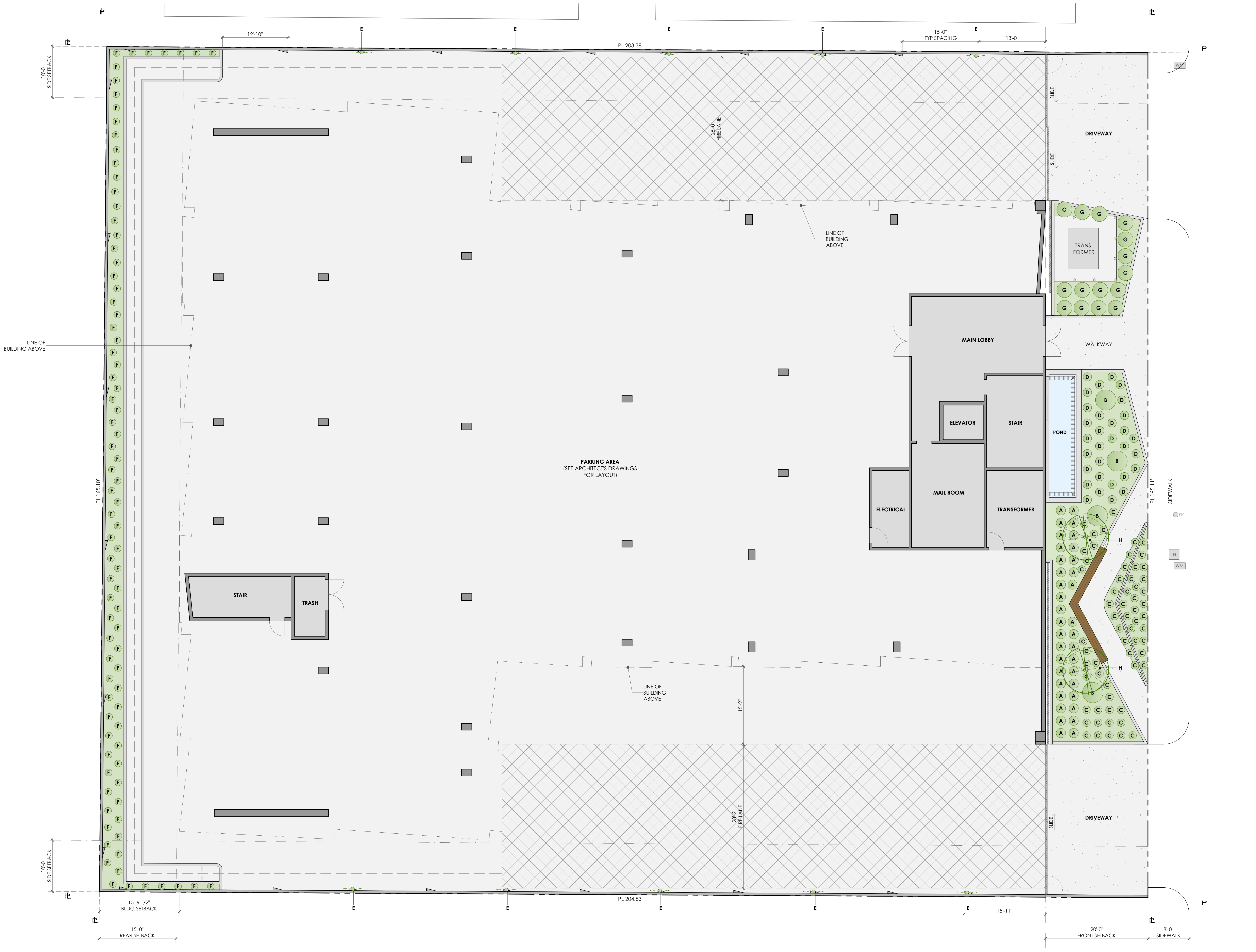
DATE : 11.21.2018  
SCALE : AS SHOWN  
DRAWN BY : AQ

CONCEPTUAL  
PLANT IMAGES

L-0

CONCEPT IMAGES





TREE PLANTING AND CARE INSTRUCTIONS

- 1. DRAINAGE**  
PREPARE THE HOLE A COUPLE OF DAYS PRIOR TO PLANTING. FILL THE HOLE WITH 12" OF WATER. THE WATER SHALL DRAIN OVERNIGHT. IF IT DOESN'T, YOU HAVE A DRAINAGE PROBLEM WHICH NEED TO BE CORRECTED WITH A FRENCH DRAIN OR SOME OTHER METHOD THAT TAKES EXCESS WATER DOWN AND AWAY FROM THE BOTTOM OF THE ROOT BALL.

**2. PLANTING**  
THE HOLE SHALL BE 2" WIDER THAN THE BOX SIZE AND THE SAME DEPTH AS THE ROOT BALL. LEAVE THE BOTTOM FOR 48" BOX SIZES AND LARGER FOR STABILITY AND SAFETY. VERIFY THE TOP OF THE ROOT BALL IS EVEN OR SLIGHTLY HIGHER THAN THE SURROUNDING SOIL.

**3. SOIL PIPES**  
48" BOX AND LARGER TREES SHALL HAVE FOR 4" PERFORATED PVC PIPES INSTALLED ON ALL FOUR SIDES TO THE BOTTOM OF THE ROOT BALL. FILL 3 PIPES WITH GRAVEL FOR DEEP FEEDING AND WATERING. USE THE FOURTH PIPE FOR CHECKING THE CONDITION OF THE ROOT BALL (TOO MUCH WATER OR TOO DRY). CAP ALL PIPES APPROXIMATELY 4" ABOVE SOIL LEVEL.
- 4. WATERING BERM OR BASIN**  
USE LEFT OVER SOIL MIX TO BUILD A SEVERAL-INCH-HIGH CIRCULAR WATERING BERM AROUND THE ROOT BALL. MAKE SURE THE BERM OR BASIN IS NO LARGER THAN THE ROOT BALL. OTHERWISE WATERING MAY WET THE SOIL AROUND THE TREE, BUT NOT THE ROOTBALL.

**5. WATERING**  
IT IS VERY IMPORTANT TO KEEP A NEWLY PLANTED TREE WATERED DURING THE FIRST 12 TO 18 MONTHS. WATER AS OFTEN AS NECESSARY TO KEEP THE ROOT BALL MOIST, BUT NOT SATURATED. THIS MAY MEAN WATERING EVERY 2 TO 3 DAYS AT FIRST, OR ONLY ONCE A WEEK. HOW YOU WATER WILL DEPEND ON THE WEATHER, HOW HOT OR DRY YOUR AREA IS AND YOUR SOIL TYPE. BE ESPECIALLY CAREFUL TO KEEP THE TREES WATERED DURING SANTA ANA WINDS.

**6. FERTILIZING**  
THE TREE SHOULD BE FED IN MARCH, JUNE AND SEPTEMBER WITH A SLOW RELEASE 20-5-5 FERTILIZER MIXED HALF-AND-HALF WITH BLOODMEAL.

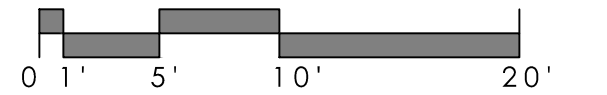
STREET LEVEL: PLANT LEGEND

LEGEND	QTY	SIZE	ARRANGEMENT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	WUCOLS IV	NOTES
A	2	QT FLAT	PER PLAN	STIPA TENUISSIMA	MEXICAN FEATHERGRASS	1'-3'	1'-3'	LOW	
B	4	5 GAL	PER PLAN	AGAVE ATTENUATA	FOX TAIL AGAVE	3'-4'	4'-6'	LOW	
C	4	QT FLAT	PER PLAN	SENECIO SERPENS	BLUE CHALKSTICKS	3'-4'	4'-6'	LOW	
D	31	1 GAL	PER PLAN	EUPHORBIA MYRSINITES	MYRTLE SPURGE	1'	1'-2'	LOW	
E	10	1 GAL	PER PLAN	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	6'-8'	8'-10'	MED	
F	6	QT FLAT	PER PLAN	CAREX TUMULICOLA	BERKELEY SEDGE	1'	1'-2'	LOW	
G	15	1 GAL	PER PLAN	MISCANTHUS SINENSIS 'MORNING LIGHT'	MAIDEN GRASS	3'-4'	3'-4'	MED	
H	2	24" BOX	PER PLAN	GINKGO BILOBA 'PRINCETON SENTRY'	MAIDENHAIR TREE	35'-40'	15'-20'	MED	

- WUCOLS IV NOTE:**  
WATER REQUIREMENTS FOR ALL PLANTS LISTED HAVE BEEN CONFIRMED BY WUCOLS IV PLANT DATABASE PROVIDED BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (DWR) WATER USE EFFICIENCY PROGRAM.
- PLANTING NOTES:**
- SOIL TO BE SAMPLED BY WALLACE LABS (310.415.0114)
  - CONTRACTOR TO AMEND PER WALLACE LAB RECOMMENDATION - 2" MIN.
  - LEAF POST MULCH ON SURFACE OF ALL P.A.
  - DURA EDGE AT ALL P.A. EDGES WWW.DURASSELCO.COM (800.888.7425)
  - WEATHER BASED AUTOMATED IRRIGATION SHALL BE PROVIDED FOR ALL THE LANDSCAPED AREAS
  - A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND-COVERS, OR DIRECT SEEDING APPLICATIONS WHERE IS CONTRAINDICATED.

PLANTING PLAN  
STREET LEVEL

1/8" : 1'-0"



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1632 aviation blvd  
redondo beach  
california 90278

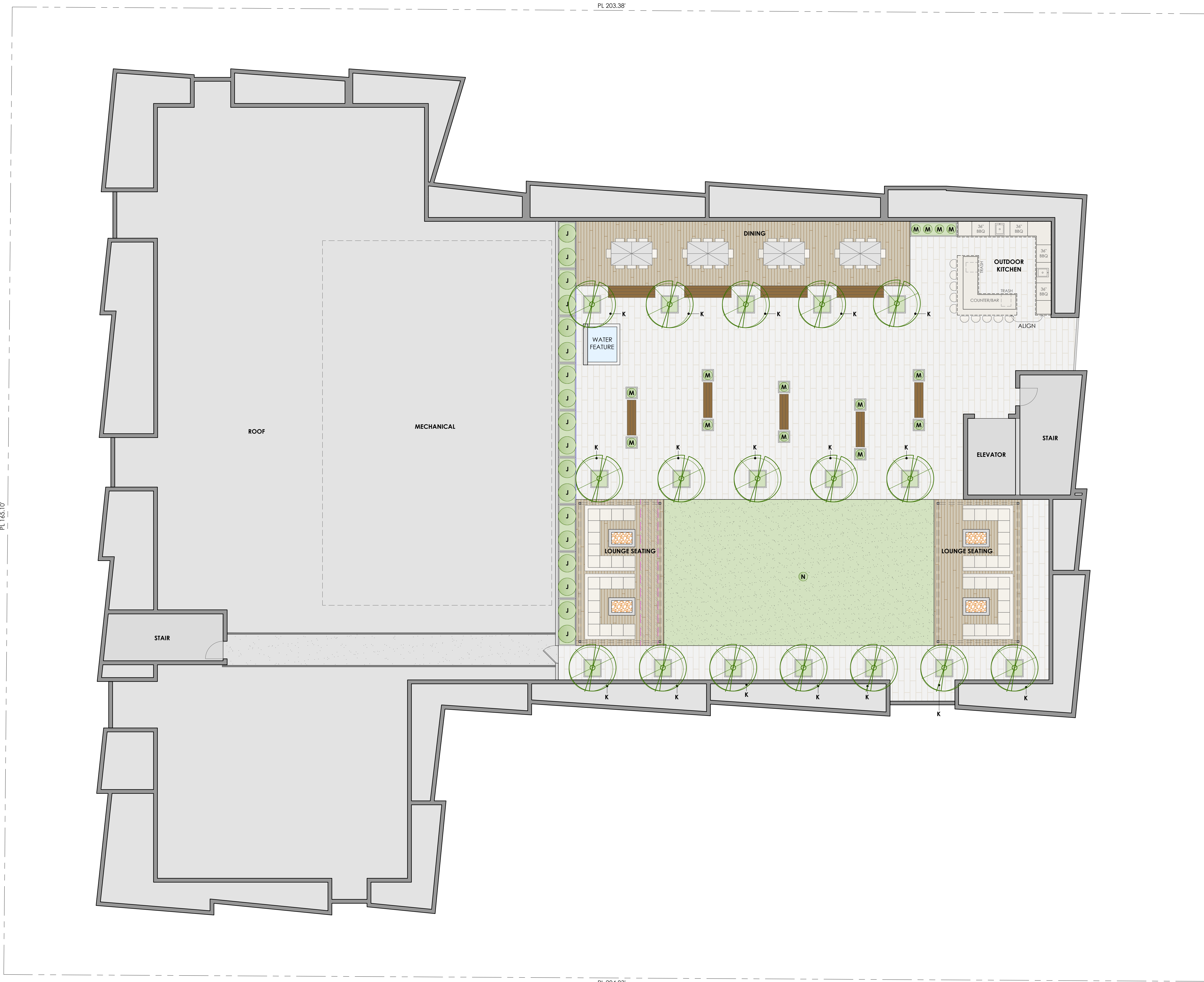
ph 310.378.2650  
miriam@rainvilledesign.com

REVISION	
09.26.2017	
11.02.2017	
11.20.2017	
11.21.2018	

DATE : 11.21.2018  
SCALE : AS SHOWN  
DRAWN BY : AQ

L-2  
PLANTING PLAN





TREE PLANTING AND CARE INSTRUCTIONS

1. DRAINAGE  
PREPARE THE HOLE A COUPLE OF DAYS PRIOR TO PLANTING. FILL THE HOLE WITH 12" OF WATER. THE WATER SHALL DRAIN OVERNIGHT. IF IT DOESNT, YOU HAVE A DRAINAGE PROBLEM WHICH NEED TO BE CORRECTED WITH A FRENCH DRAIN OR SOME OTHER METHOD THAT TAKES EXCESS WATER DOWN AND AWAY FROM THE BOTTOM OF THE ROOT BALL.
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ROOF DECK LEVEL: PLANT LEGEND

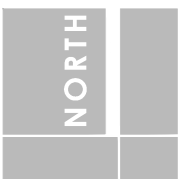
LEGEND	QTY	SIZE	ARRANGEMENT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	WUCOLS IV	NOTES
J	18	15 GAL	PER PLAN	PODOCARPUS ELONGATUS 'ICEE BLUE'	YELLOW WOOD	10'-15'	10'-15'	MED	
K	17	24" BOX	PER PLAN	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	15'-20'	15'-20'	LOW	LOW BRANCHING/MULTI
M	14	5 GAL	PER PLAN	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	3'-4'	3'-4'	LOW	
N	1200 SF	SOD	PER PLAN	KURAPIA	GROUND COVER SOD	6"	SOD	LOW	

WUCOLS IV NOTE:

WATER REQUIREMENTS FOR ALL PLANTS LISTED HAVE BEEN CONFIRMED BY WUCOLS IV PLANT DATABASE PROVIDED BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (DWR) WATER USE EFFICIENCY PROGRAM.

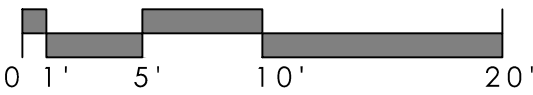
PLANTING NOTES:

- SOIL TO BE SAMPLED BY WALLACE LABS (310.415.0114)
- CONTRACTOR TO AMEND PER WALLACE LAB RECOMMENDATION - 2" MIN.
- LEAF POST MULCH ON SURFACE OF ALL P.A.
- DURA EDGE AT ALL P.A. EDGES WWW.DURASSELCO.COM (800.888.7425)
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PLANTING PLAN  
ROOF DECK LEVEL

1/8" = 1'-0"



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miriam@rainvilledesign.com

REVISION

09.26.2017	
11.02.2017	
11.20.2017	
11.21.2018	

DATE : 11.21.2018

SCALE : AS SHOWN

DRAWN BY : AQ

L-2.2

PLANTING PLAN





VIEW FROM STREET



VIEW FROM ABOVE



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

**PROJECT NAME**  
BIRCH

**PROJECT NUMBER**  
17065

**CLIENT**  
REAL QUEST HOLDING, LLC  
MR. MICHAEL WANG C/O CHIH WANG  
3129 S HACIENDA BLVD. #649  
HACIENDA HEIGHTS, CA 91745  
(626) 271-5322

**PROJECT ADDRESS**  
21809-21811 FIGUEROA STREET  
CARSON, CA 90745

**ARCHITECT**  
ANTHONY LANEY AIA  
LANEY LA, INC.  
13110 HAWTHORNE BLVD. UNIT A  
HAWTHORNE CA 90250  
(310) 498-2455  
ANTHONY@LANEY.LA

**NOT FOR  
CONSTRUCTION**

MARK	DATE	DESCRIPTION
1	06/05/17	DEVELOPMENT APPLICATION SUBMISSION
2	08/16/17	1ST REVIEW RE-SUBMITTAL
3	11/30/17	100% DESIGN DEVELOPMENT

**PROJECT NO:** 17065

**MODEL FILE:**

**DRAWN BY:** DD

**CHK'D BY:** PC

**COPYRIGHT**

**SHEET TITLE**  
**PERSPECTIVES**

**P-1**



DEMOLITION NOTES:

- 1 EX. TREE TO BE REMOVED.
- 2 EX. WOODEN FENCE TO BE REMOVED.
- 3 CLOSE EX. DWY APPROACH.
- 4 EX. BUILDING TO BE DEMOLISHED.
- 5 EX. CLF TO BE REMOVED.

TENTATIVE TRACT NO. 76070  
IN THE CITY OF CARSON, COUNTY OF LOS ANGELES,  
STATE OF CALIFORNIA

BEING A SUBDIVISION OF PORTION OF LOT 41 OF TRACT NO. 3612, IN THE CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 40 PAGES 5 AND 6 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FOR CONDOMINIUM PURPOSES  
JULY 27, 2018

REVIEWED BY:

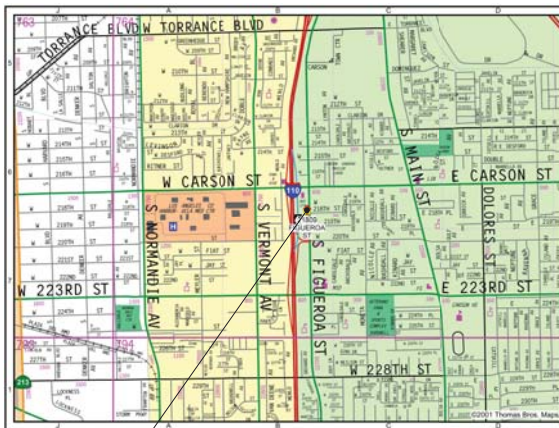
“RICK BOUTROS, PE – ASSOCIATE CIVIL ENGINEER”

RECOMMENDED BY:

“RAYMOND VELASCO, PE – SENIOR CIVIL ENGINEER”

APPROVED BY:

“GILBERT MARQUEZ, PE – CITY ENGINEER”



PROJECT LOCATION

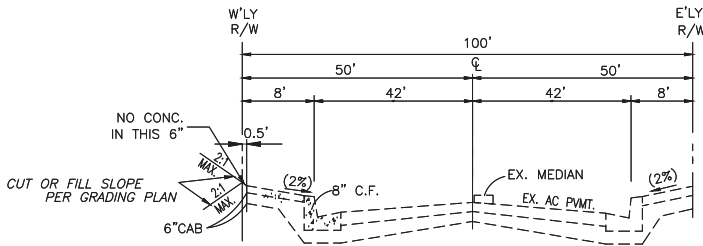
VICINITY MAP  
T.G. # 764-B7 N.T.S.

ABBREVIATIONS:

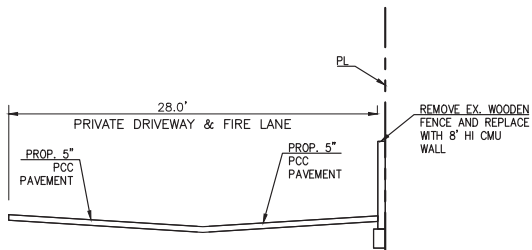
APN	ASSESSOR'S PARCEL NUMBER	PM	PARCEL MAP
CA	CALIFORNIA	PVC	POLYVINYL CHLORIDE
C.B.	CATCH BASIN	PL	PROPERTY LINE
CBW	CONC. BLOCK WALL	S	SOUTH
C/L	CENTERLINE	SMH	SEWER MANHOLE
CLF	CURB FACE	STD	STANDARD STREET
CMU	CHAIN LINK FENCE	SL	STREET LIGHT
CONC.	CONCRETE MASONRY UNIT	TC	TOP OF CURB ELEVATION
CONST.	CONCRETE	TC	TOP OF CURB ELEVATION
DWH	DRAINAGE MANHOLE	TYP	TYPICAL
D/A	DRIVEWAY APPROACH	WF	WOODEN FENCE
DWY	DRIVEWAY	W	WEST
E	EAST	WM	WATER METER
EP	EDISON POLE		
EL. ELEV	ELEVATION		
EXIST / EX	EXISTING		
FF	FINISH FLOOR ELEVATION		
FL	FIRE HYDRANT		
FG	FLOW LINE ELEVATION		
FS	FINISH GRADE ELEVATION		
FT	FINISH SURFACE ELEVATION		
HI	FOOT, FEET		
INV.	HIGH		
LA	INVERT		
M.B.	LANDSCAPING		
MH	MAP BOOK		
N	MAIN HOLE		
NTS	NORTH		
NO	NOT TO SCALE		
	NUMBER		

LEGEND:

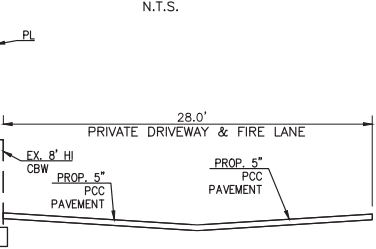
PROPERTY LINE	---
CENTERLINE	---
EX. TREE	
POWER POLE	
EX. FIRE HYDRANT	
EXISTING ELEVATION	(100.00)*
PROP. ELEVATION	99.00
RAMP/DRIVEWAY	
EX. STRUCTURE	
EX. CONCRETE BLOCK WALL	
PROP. CMU WALL	
FLOW LINE/SHEET FLOW	
PROP. BUILDING	
EX. STREET LIGHT	
RIDGE LINE	



TYPICAL SECTION  
FIGUEROA ST. N.T.S.



SECTION A-A  
N.T.S.



SECTION B-B  
N.T.S.

NOTES

1. ANY IMPROVEMENTS DAMAGED DURING CONSTRUCTION, ALONG THE PROPERTY FRONTAGE ON FIGUEROA STREET SHALL BE REPAIRED, TO THE SATISFACTION OF THE CITY OF CARSON.
2. ALL NEW UTILITIES TO BE UNDERGROUND TO THE SATISFACTION OF THE CITY OF CARSON.
3. ALL ON-SITE IMPROVEMENTS SHALL BE MAINTAINED BY PROPERTY OWNER.

SHEET NO.	SHEET TITLE
1	TENTATIVE PARCEL MAP
2	EXHIBIT MAP

REVISIONS			
NO	DESCRIPTION	APPROVE	DATE

BENCHMARK:

B.M. NUMBER: 7Y10536  
ELEV. 47.686  
QUAD (YEAR) 2005  
DESCRIPTION: L & SPK IN CB  
10.7M(35') N/O BCR @  
NW COR NORMANDIE  
AVE & CARSON ST

PLANS PREPARED BY:

GUOXIN MIAO 8/6/2018  
Date  
Apple Engineering Group  
Subdivision, Engineering Design & Survey  
9080 TELSTAR AVENUE, SUITE 309  
EL MONTE, CA 91731  
Tel: (626) 552-9818 EMAIL: info@appleengineering.net



PROJECT SITE:

21809, 21811 FIGUEROA ST.  
CARSON, CA 90745

A.P.N.

7343-020-009  
7343-020-010

CIVIL ENGINEER/LAND SURVEYOR:

APPLE ENGINEERING GROUP  
9080 TELSTAR AVE, SUITE 309  
EL MONTE, CA 91731  
Tel. (626) 552-9818  
EMAIL: INFO@APPLEENGINEERING.NET  
WEB: WWW.APPLEENGINEERING.NET

OWNER/DEVELOPER:

REAL QUEST HOLDING LLC  
CONTACT PERSON: CHIH WANG  
3129 S. HACIENDA BLVD. #649  
HACIENDA HEIGHTS, CA 91745  
Tel. (626) 271-5322

ARCHITECT

ANTHONY LANEY AIA  
13110 HAWTHORNE BLVD. UNIT A  
HAWTHORNE CA, 90250  
Tel. (310) 498-2455

EARTHWORK

CUT: 0 CY  
FILL: 1355 CY  
IMPORT: 1355 CY  
EXPORT: 0 CY  
EXCAVATION: 1532 CY

UTILITY IN THE CITY OF CARSON

SEWER COMPANY: CITY OF CARSON  
(310) 830-8637  
WATER COMPANY: CALIFORNIA WATER SERVICE  
(310) 257-1400  
GAS COMPANY: SOUTHERN CALIFORNIA GAS COMPANY  
(800) 427-2200  
ELECTRIC COMPANY: SOUTHERN CALIFORNIA EDISON  
(800) 655-4555  
WASTE COMPANY: CITY OF CARSON  
(310) 328-0900

PROJECT DESCRIPTION

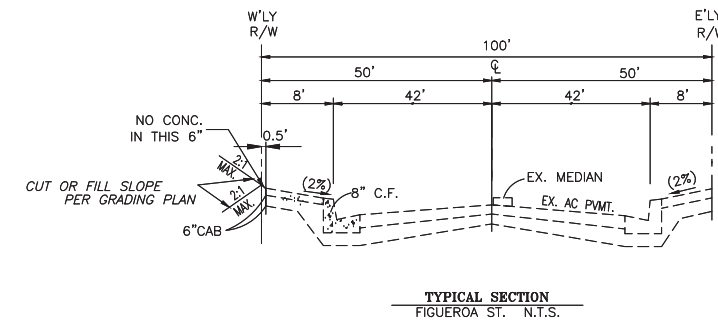
1. PROJECT: 32-UNIT CONDOMINIUMS
2. OWNER: REAL QUEST HOLDING LLC
3. PRESENT ZONING: CARM18U&D
4. PROPOSED ZONING: CARM18U&D
5. APN: 7343-020-009/010
6. LOT SIZE: 14177SF + 19653SF = 33830SF/0.78AC
7. PROPOSED BUILDING(S) HEIGHT: 4 STORIES  
1ST FLOOR = PARKING AREA  
2ND FLOOR = 10 UNITS  
3RD FLOOR = 11 UNITS  
4TH FLOOR = 11 UNITS  
TOTAL UNITS = 32 UNITS
8. PARKING:  
HANDICAP PARKING: 4  
GUEST PARKING: 8  
RESIDENTIAL PARKING: 62  
TOTAL PARKING: 74
9. AN ENCROACHMENT PERMIT FROM THE CITY OF CARSON IS REQUIRED FOR ALL WORK WITHIN OR AFFECTING ROAD RIGHT OF WAY. ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO CITY OF CARSON STANDARDS. EXISTING SITE DIMENSIONS NEED TO BE FIELD VERIFIED BY THE LICENSED CONTRACTOR



REVIEWED BY:	RECOMMENDED BY:	APPROVED BY:
<u>RICK BOUTROS, PE – ASSOCIATE CIVIL ENGINEER</u> DATE _____	<u>RAYMOND VELASCO, PE – SENIOR CIVIL ENGINEER</u> DATE _____	<u>GILBERT MARQUEZ, PE – CITY ENGINEER</u> DATE _____

FOR CONDOMINIUM PURPOSES  
JULY 27, 2018

**JULY 27, 2018**



**EARTHWORK**

CUT:	0 CY
FILL:	1355 CY
IMPORT:	1355 CY
EXPORT:	0 CY
EXCAVATION:	1532 CY

[illegible]

PROJECT NO. <b>P17052</b>	SHEET 2 OF 4	PLAN NO.
------------------------------	--------------	----------

TREATMENT FLOW (CFS)	0.206
OPERATING HEAD (FT)	3.4
PRETREATMENT LOADING RATE (GPM/SF)	TBD
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

**MWS-L-4-17-C**  
**STORMWATER BIOFILTRATION SYSTEM**  
**STANDARD DETAIL**

THE PRODUCT DESCRIBED MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING US PATENTS: 7,425,262; 7,470,362; 7,674,376; 8,303,818; RELATED FOREIGN PATENTS OR OTHER PATENTS PENDING.

PROPRIETARY AND CONFIDENTIAL:  
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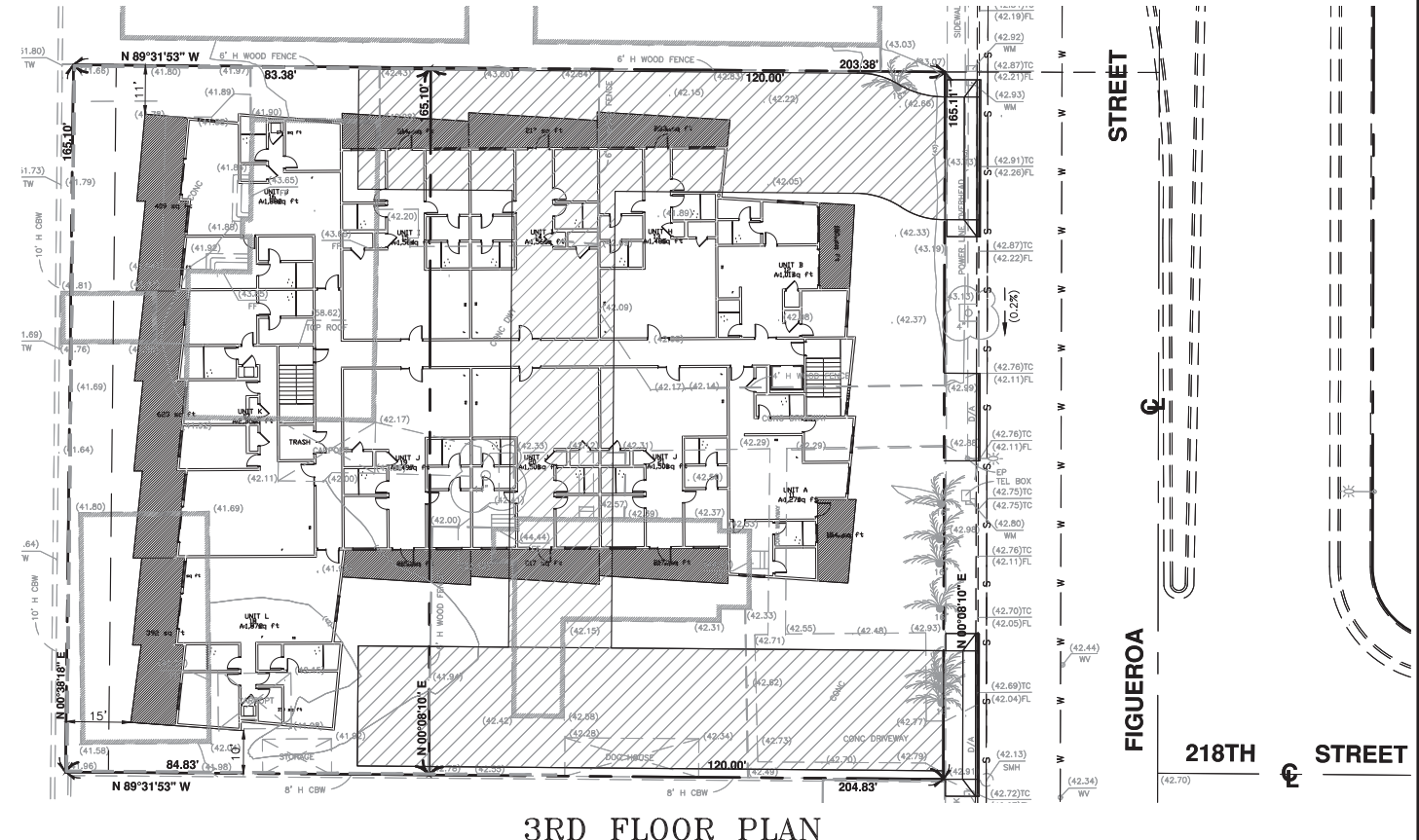


MODULAR  
WETLANDS



REVIEWED BY:	RECOMMENDED BY:	APPROVED BY:
<u>RICK BOUTROS, PE – ASSOCIATE CIVIL ENGINEER</u>	<u>RAYMOND VELASCO, PE – SENIOR CIVIL ENGINEER</u>	<u>GILBERT MARQUEZ, PE – CITY ENGINEER</u>
DATE _____	DATE _____	DATE _____

FOR CONDOMINIUM PURPOSES  
JULY 27, 2018

[illegible]

**TR 76070**

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**CITY OF CARSON**

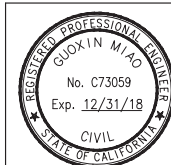
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ENGINEERING SERVICES DIVISION

---

**EXHIBIT MAP  
FOR  
21809 FIGUEROA ST.**

PROJECT NO. <b>P17052</b>	SHEET 3 OF 4	PLAN NO.
------------------------------	--------------	----------



PLANS PREPARED BY:

<u>GUOXIN MIAO</u>	<u>8/6/2018</u>
	Date

Apple Engineering Group

Subdivision, Engineering Design & Survey

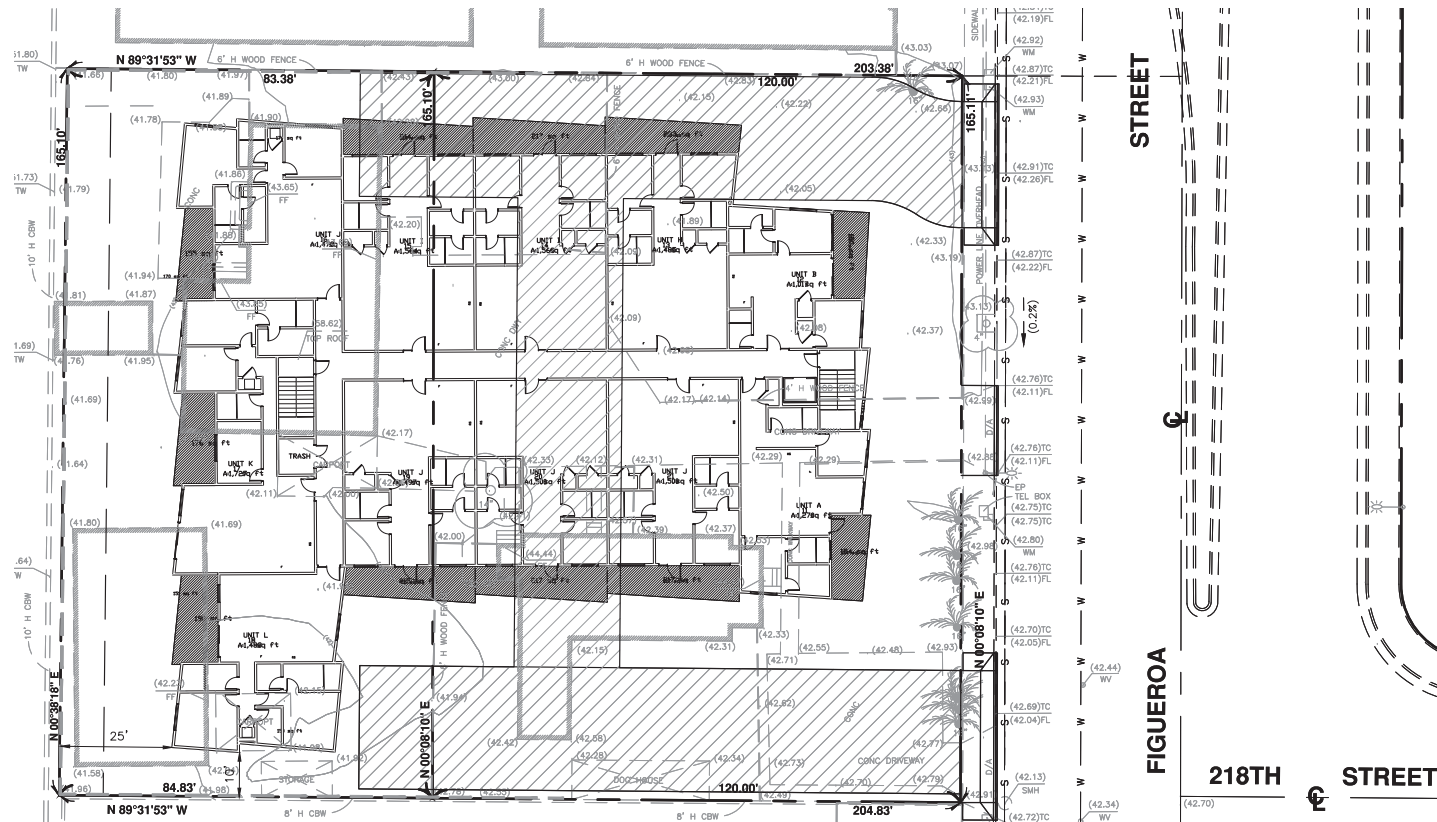
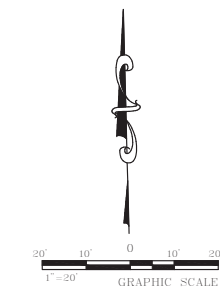
9080 TELSTAR AVENUE, SUITE 309  
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Tel: (626) 552-9818 EMAIL: [info@appleengineering.net](mailto:info@appleengineering.net)

BENCHMARK:	
B.M. NUMBER:	7Y10536
ELEV.	47.686
QUAD (YEAR)	2005
DESCRIPTION:	L & SPK IN CB 10.7M(35') N/O BCR ☉ NW COR NORMANDIE AVE & CARSON ST



REVIEWED BY:	RECOMMENDED BY:	APPROVED BY:
<u>RICK BOUTROS, PE – ASSOCIATE CIVIL ENGINEER</u> <u>DATE</u>	<u>RAYMOND VELASCO, PE – SENIOR CIVIL ENGINEER</u> <u>DATE</u>	<u>GILBERT MARQUEZ, PE – CITY ENGINEER</u> <u>DATE</u>

FOR CONDOMINIUM PURPOSES  
JULY 27, 2018



## ROOF PLANS

CITY OF CARSON

**EXHIBIT MAP  
FOR  
21809 FIGUEROA ST.**

BENCHMARK:	
B.M. NUMBER:	7Y10536
ELEV.	47.686
QUAD (YEAR)	2005
DESCRIPTION:	L & SPK IN CB 10.7M(35') N/O BCR ® NW COR NORMANDIE AVE & CARSON ST

[illegible]