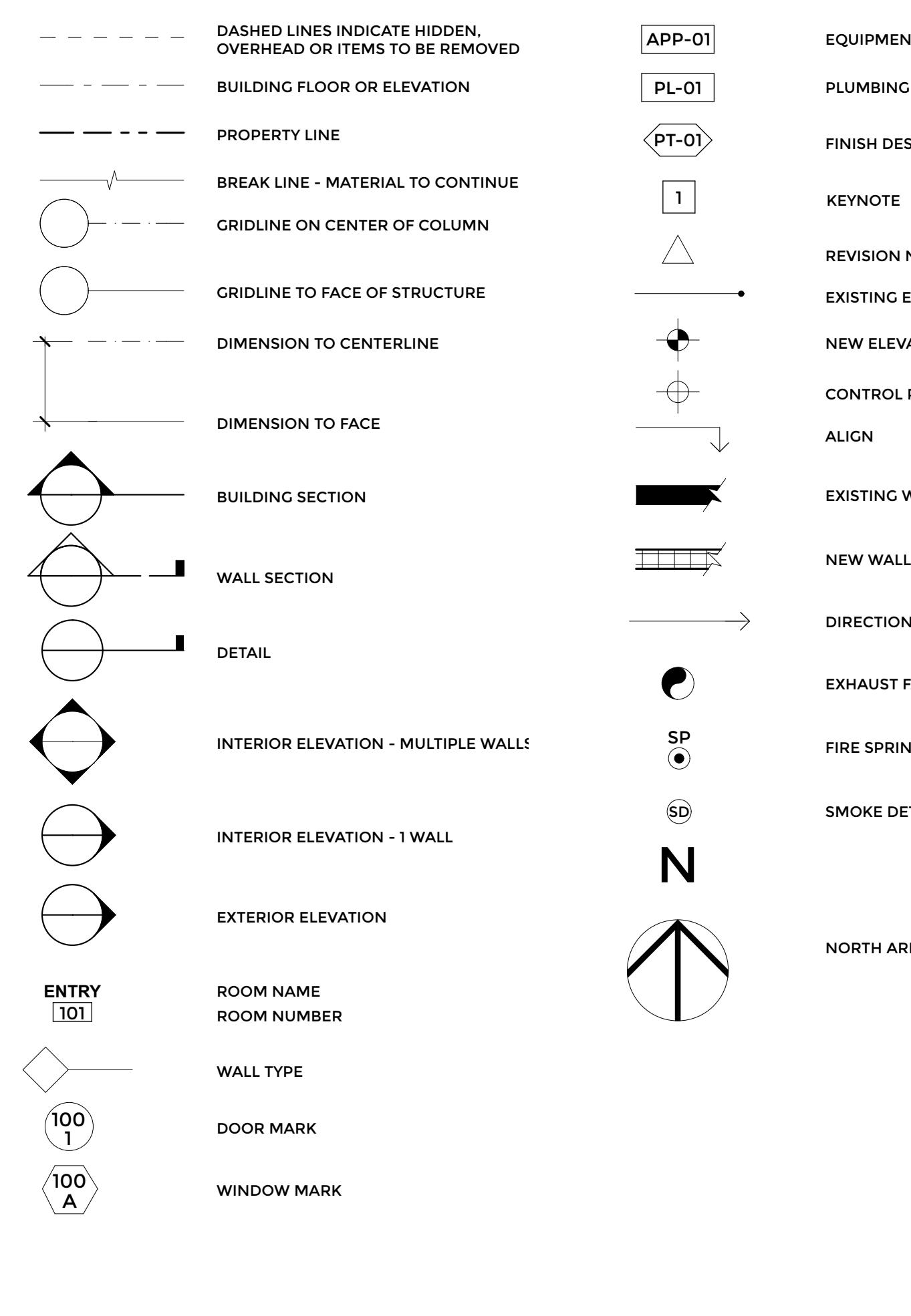




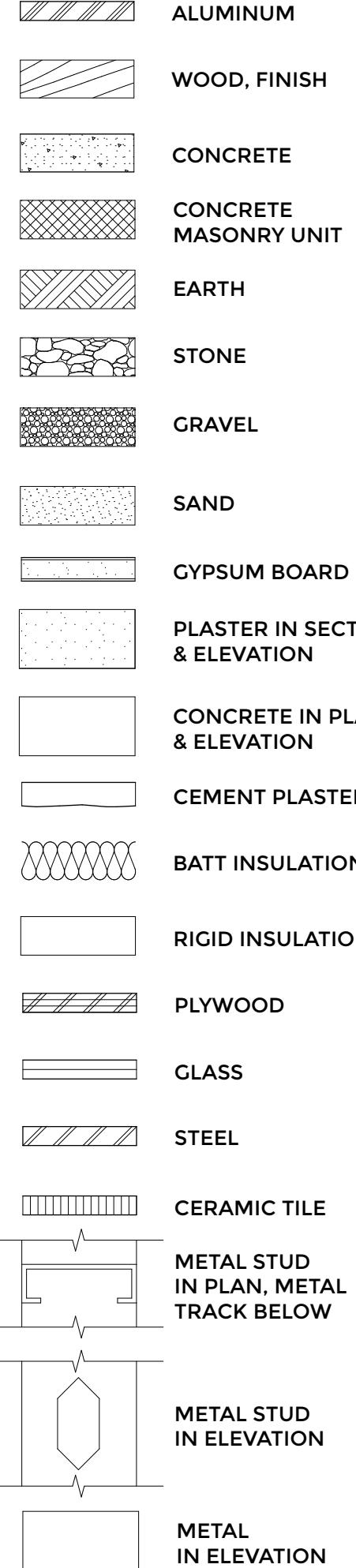
ABBREVIATIONS

AT	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
ADJUST	ADJUSTABLE
ADJ	ADJUSTABLE
ALUM	ALUMINUM
ANCH	ANCHOR
APPROX	APPROXIMATELY
ATTEN	ATTENUATION
BD	BOND
BLDG	BUILDING
BLK	BLOCK
BM	BEAM
B.O.	BOTTOM OF
(C)	CENTRAL PARKING STALL
CA	CLEAR AND ADVISED
CAB	CABINET
CER	CERAMIC
CJ	CONTROL JOINT
CL	CLOSET
CIL	CENTER LINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
DBL	DOUBLE
DTL	DETAIL
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIN	DOWN
DS	DOWSNOUT
DWG	DRAWING
EA	EACH
EL	ELEVATION
ELECT	ELECTRICAL
EO	EOA
EQUIP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FD	FLOOR DRAIN
FIN.	FINISH
F.F.E.	FINISH FLOOR ELEVATION
FLR	FLOOR
FLUOR	FLUORESCENT
F.O.	FACE OF
FT	FOOT
FTC	FOOTING
FV	FIELD VERIFY
GA	GAUGE
GI	GALVANIZED IRON
GALV	GALVANIZED
GL	GLASS
GYP BD	GYPSUM BOARD
HD	HEAD
HDWD	HARDWOOD
HORIZ	HORIZONTAL
HT	HEIGHT
ID	INSIDE DIAMETER
IN	INCH
INSUL	INSULATION
INT	INTERIOR

SYMBOLS



MATERIALS



PROJECT DIRECTORY

PROJECT OWNER
REAL QUEST HOLDING, LLC
MR. MICHAEL WANG C/O CHIH WANG
3129 S HACIENDA BLVD. #649
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CONTACT: CHIH WANG
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CONTACT: ANTHONY LANEY
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(310) 498-2455

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APPLE ENGINEERING
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EL SEGUNDO, CA 90245
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LILY@APPLEENGINEERING.NET
(626) 552-9818

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527 WEST 7TH ST. SUITE 701
LOS ANGELES, CA 90014
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OMAR.GARZA@NOUSENGINEERING.COM
(213) 627-6687

MECHANICAL/PLUMBING ENGINEER
AIRPLUS ENGINEERING CONSULTANTS, LLC
11517 BURBANK BLVD.
NORTH HOLLYWOOD, CA 91601
CONTACT: GEORGE HOVAGUIMIAN
AIRPLUSESCGLOBAL.NET
(818) 680-7583

ELECTRICAL ENGINEER
JOHN R. HANZLIK & ASSOCIATES, INC.
7100 HAWTHORNE AVE. SUITE 301
VAN NUYS, CA 91401
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HANZLIK@PACBELL.NET
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LANDSCAPE ARCHITECT
RAINVILLE DESIGN STUDIO
1632 AVIATION BLVD.
REDONDO BEACH, CA 90278
CONTACT: MIRIAM RAINVILLE
MIRIAM@RAINVILLEDESIGN.COM
(310) 378-2650

GEOTECHNICAL ENGINEER
CAL LAND ENGINEERING, INC.
DBA QUARTECH CONSULTANTS
576 E. LAMBERT RD.
BRENTWOOD, CA 94513
CONTACT: JACK LEE
LEE@CALLANDENG.COM
(714) 671-1050



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
BIRCH

PROJECT NUMBER
17065

CLIENT
REAL QUEST HOLDING, LLC
MR. MICHAEL WANG C/O CHIH WANG
3129 S HACIENDA BLVD. #649
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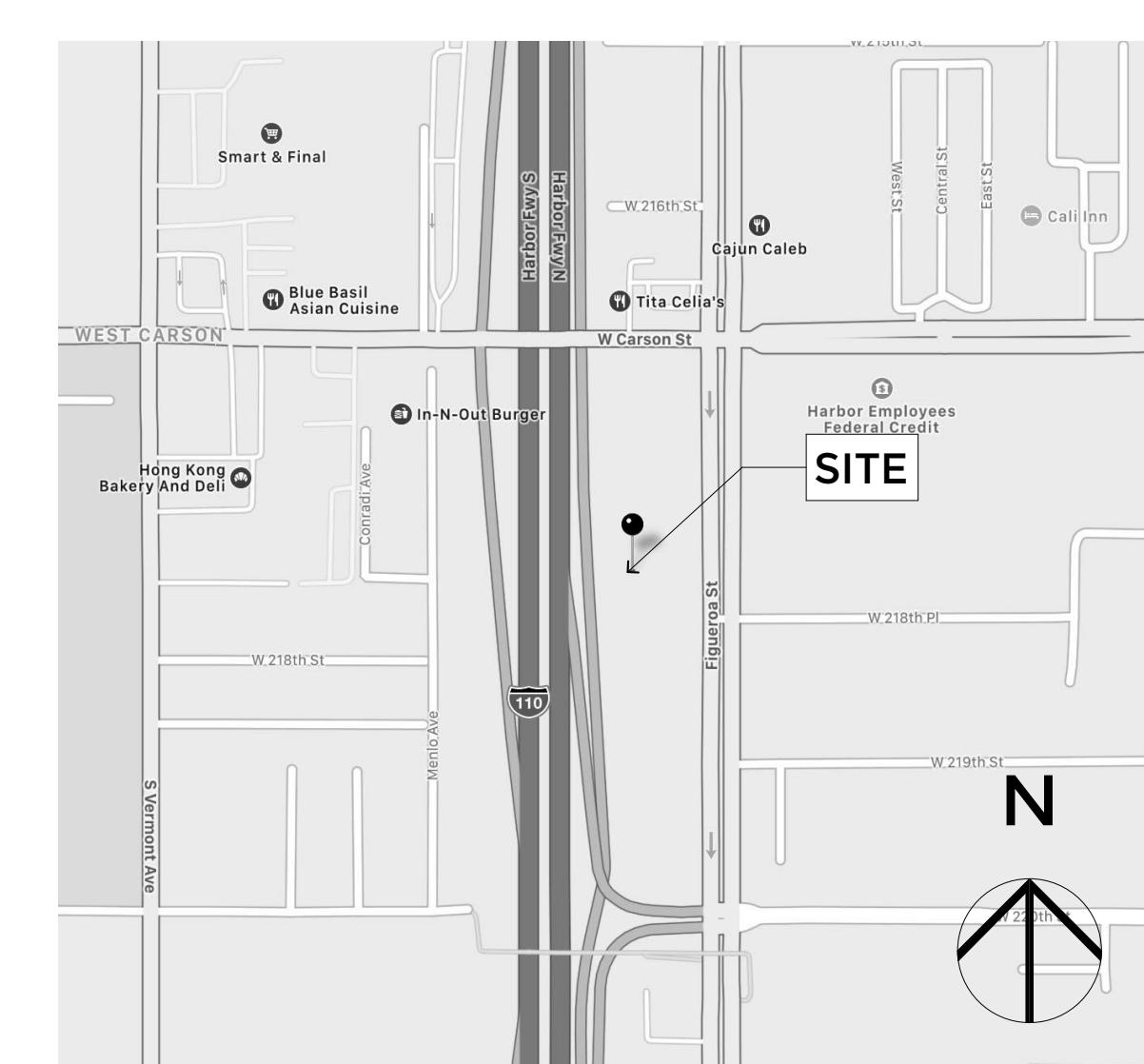
PROJECT ADDRESS
21809-21811 FIGUEROA STREET
CARSON, CA 90745

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**NOT FOR
CONSTRUCTION**

MARK	DATE	DESCRIPTION
1	06/05/17	DEVELOPMENT APPLICATION SUBMISSION
2	08/16/17	1ST REVIEW RE-SUBMITTAL
3	11/30/17	100% DESIGN DEVELOPMENT
4	07/10/18	DEVELOPMENT APPLICATION REVISION

VICINITY MAP



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SHEET TITLE

COVER SHEET

G-000.0



Laney LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
BIRCH

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SHEET TITLE
PROJECT
INFORMATION

G-101.0

ALLOWABLE AREA

CARAGE:
TYPE I-A
UNLIMITED
CONDOMINIUM:
TYPE V-A
36,000 SQ FT

FRONTAGE INCREASE

$I_1 = [F/P - 0.25]W/30$
 $I_2 = [396/680 - 0.25]D/30$
 $I_3 = 0.22$

OCCUPANT LOAD ANALYSIS & EXITING DIAGRAMS

LEVEL	USE	TOTAL AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
GROUND	PARKING	36,520 SF	200	125
	LOBBY	472 SF	15	32
	MAIL ROOM	269 SF	300	1
				TOTAL GROUND LEVEL: 166
LEVEL 2	RESIDENTIAL	14,799 SF	200	79
LEVEL 3	RESIDENTIAL	14,799 SF	200	80
LEVEL 4	RESIDENTIAL	15,166 SF	200	80
LEVEL 5	ROOF DECK	3,496 SF	200	18

EXIT COMPONENT WIDTH/CAPACITY CALCS

CALCULATION OF CAPACITY OF MINIMUM WIDTH CODE PRESCRIBED EXIT COMPONENTS.
SEE LOAD TABLE ABOVE AND DIAGRAMS BELOW.
SEE EGRESS JUSTIFICATION CALCULATION BELOW.

STAIRWAYS

MINIMUM WIDTH OF STAIR SERVING OCCUPANT LOAD > 48" = 44" (CBC 1005.3)
CAPACITY OF 48" STAIR (CBC 1004.1) 0.3' / PERSON = 48" / 0.3' = 160 OCCUPANTS
STAIR #1 LOAD = 82 OCCUPANTS
STAIR #2 LOAD = 78 OCCUPANTS
48" STAIR IS OK

PARKING

NUMBER OF UNITS WITH 2 BEDROOMS:
NUMBER OF UNITS WITH 3 BEDROOMS:
TOTAL UNITS: 21
11
32

PARKING REQUIREMENT:
NUMBER OF SPACES PER UNIT:
NUMBER OF GUEST SPACES (1/EVERY 4 UNITS): 2 PER UNIT
8

RESIDENCE PARKING:
NUMBER OF UNITS:
PARKING REQUIRED: 32
64

GUEST PARKING:
NUMBER OF GUEST SPACES (1/EVERY 4 UNITS):
PARKING REQUIRED: 8
8

TOTAL PARKING REQUIRED:
TOTAL PARKING PROVIDED: 72
73

BICYCLE RACKS

TOTAL BIKE RACKS REQUIRED (5% OF REQUIRED PARKING):
TOTAL BIKE RACKS PROVIDED: 4
14

CONDOMINIUM CALCULATIONS

UNIT #	PLAN TYPE	# OF BEDROOMS	AREA (SF)	OPEN SPACE (SF)
1	A	2	924	150
2	K	2	1,108	157
3	K	2	1,104	158
4	H	2	1,427	154
5	C	3	1,705	N/A
6	E	5	1,774	N/A
7	G	3	1,978	N/A
8	I	2	1,326	151
9	B	2	1,100	158
10	B	2	1,103	165
11	J	2	1,135	175
12	A	2	920	150
13	K	2	1,108	157
14	K	2	1,104	158
15	H	2	1,427	154
16	C	3	1,705	N/A
17	E	5	1,774	N/A
18	G	3	1,978	N/A
19	I	2	1,326	151
20	B	2	1,100	158
21	B	2	1,103	165
22	J	2	1,135	175
23	F	3	1,361	150
24	I	5	1,916	157
25	H	2	1,427	154
26	C	3	1,705	N/A
27	E	3	1,774	N/A
28	D	3	1,979	N/A
29	I	2	1,326	151
30	B	2	1,100	158
31	B	2	1,103	165
32	J	2	1,135	175

TOTAL AREA: 44,208 SF 3,646 SF

AREA BREAKDOWNS

NET SIZE OF LOT: 33,703 SF
GROSS FLOOR AREA: 52,616 SF
NET FLOOR AREA: 44,208 SF
PROPOSED DENSITY: 32 UNITS PER ACRE
LOT COVERAGE RATIO: 64.05%
FLOOR AREA RATIO: 156.12%

GOVERNING ACCESSIBILITY STANDARDS

2016 CALIFORNIA BUILDING CODE
FAIR HOUSING ACT (FHA)
AMERICAN DISABILITIES ACT (ADA)

PROJECT INFORMATION

PROJECT ADDRESS
21809-21811 FIGUEROA STREET
CARSON, CA 90745
LEGAL DESCRIPTION
A PORTION OF LOT 41 OF TRACT NO. 3612, IN THE CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 40 PAGES 5 AND 6 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN#:
7343-020-009
7343-020-010
ZONING:
BIRCH SPECIFIC PLAN
LOT AREA (NET):
33,703 SF
BUILDING FOOTPRINT:
18,990 SF
GOVERNING CODES:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 ELECTRICAL CODE
2016 CALIFORNIA GREEN CODE
AND ALL APPLICABLE CODES, L CAL. ENEN OSHA LAWS, T-24 ENERGY CONSERVATION, LIST OF STANDARDS, DISABLED ACCESS REGULATIONS AND LA COUNTY AMENDMENTS

OCCUPANCY GROUP:
RESIDENTIAL : R-2
PARKING LEVEL: S-2

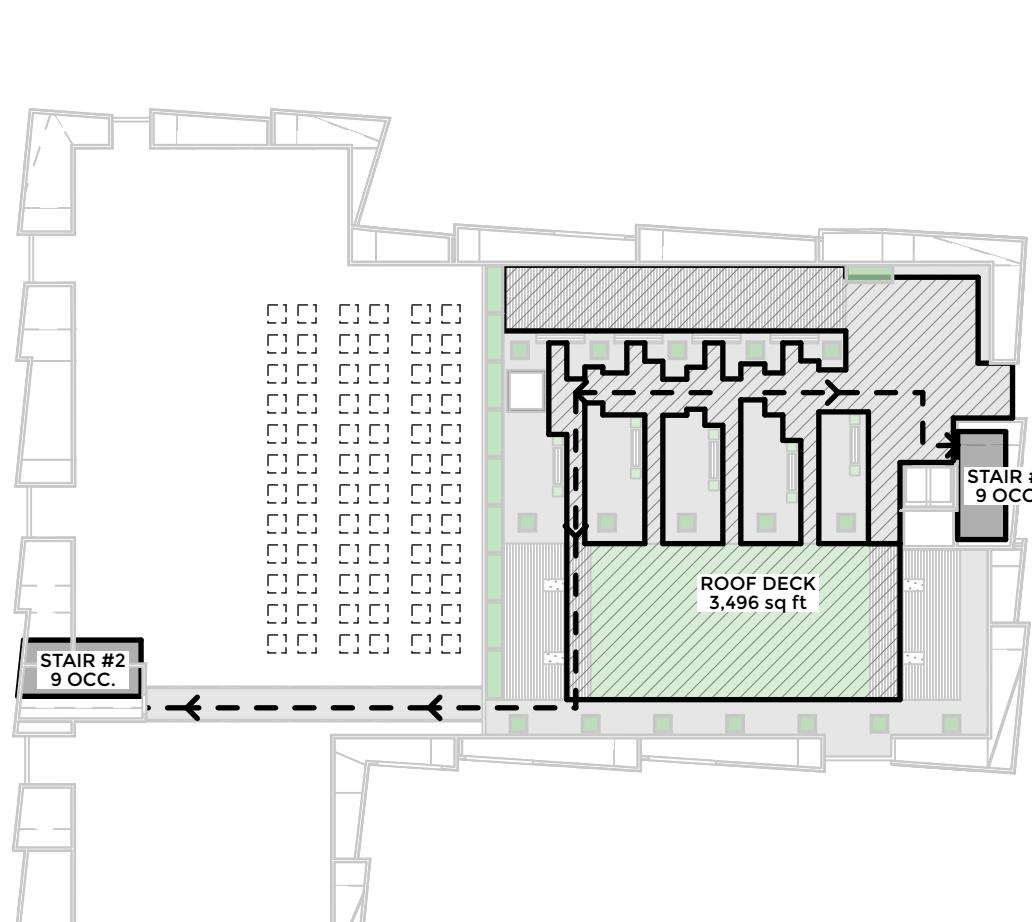
CONSTRUCTION TYPE:
RESIDENTIAL (3 STORIES): TYPE V-A - FULLY SPRINKLERED
OVER: PARKING LEVEL (GROUND LEVEL): TYPE I-A - FULLY SPRINKLERED

FIRE SPRINKLERS:
FULL NFPA 13 AUTOMATIC SPRINKLER SYSTEM

SCOPE OF WORK:
NEW 4-STORY CONDOMINIUM WITH 32 UNITS + ROOF GARDEN

GENERAL BUILDING INFORMATION

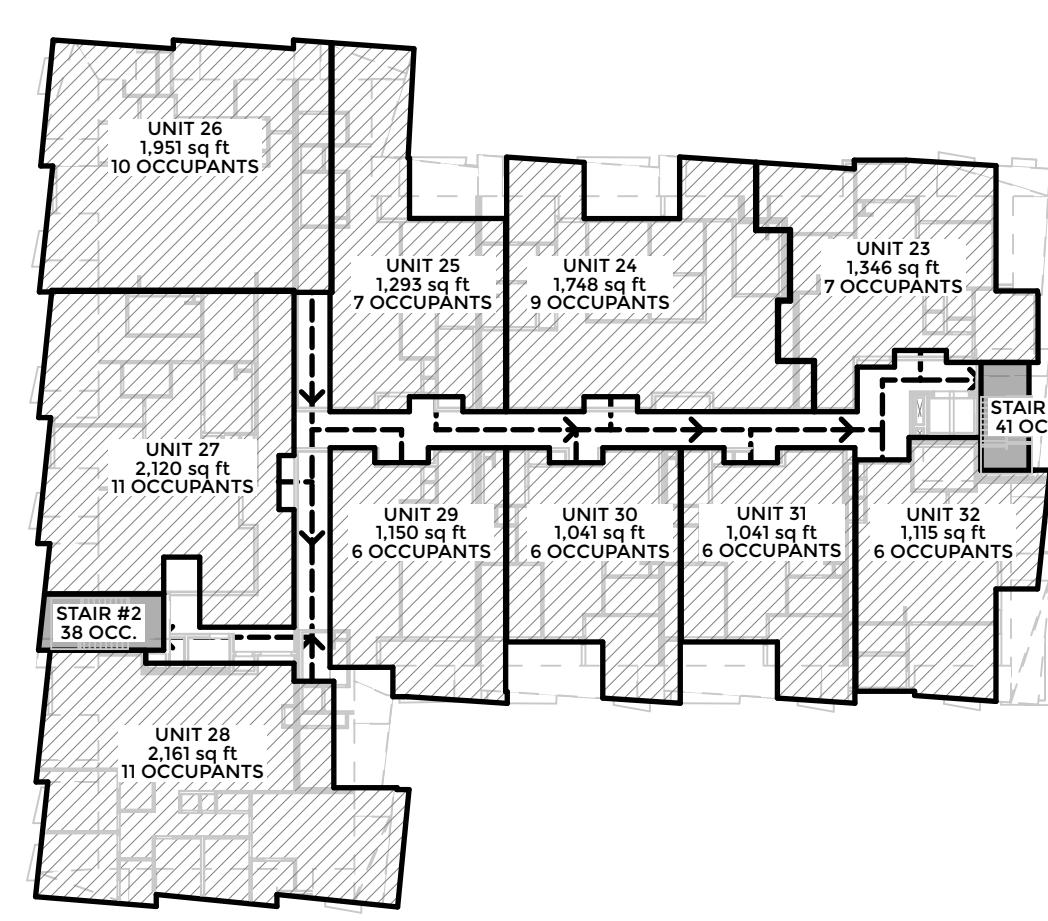
LOT AREA CALCULATIONS
LOT AREA: 33,703 SF
SETBACKS:
REQUIRED FRONT: 20'
REQUIRED SIDE: 10'
REQUIRED REAR: 15'
HEIGHT LIMIT (PER BIRCH SPECIFIC PLAN): 55'



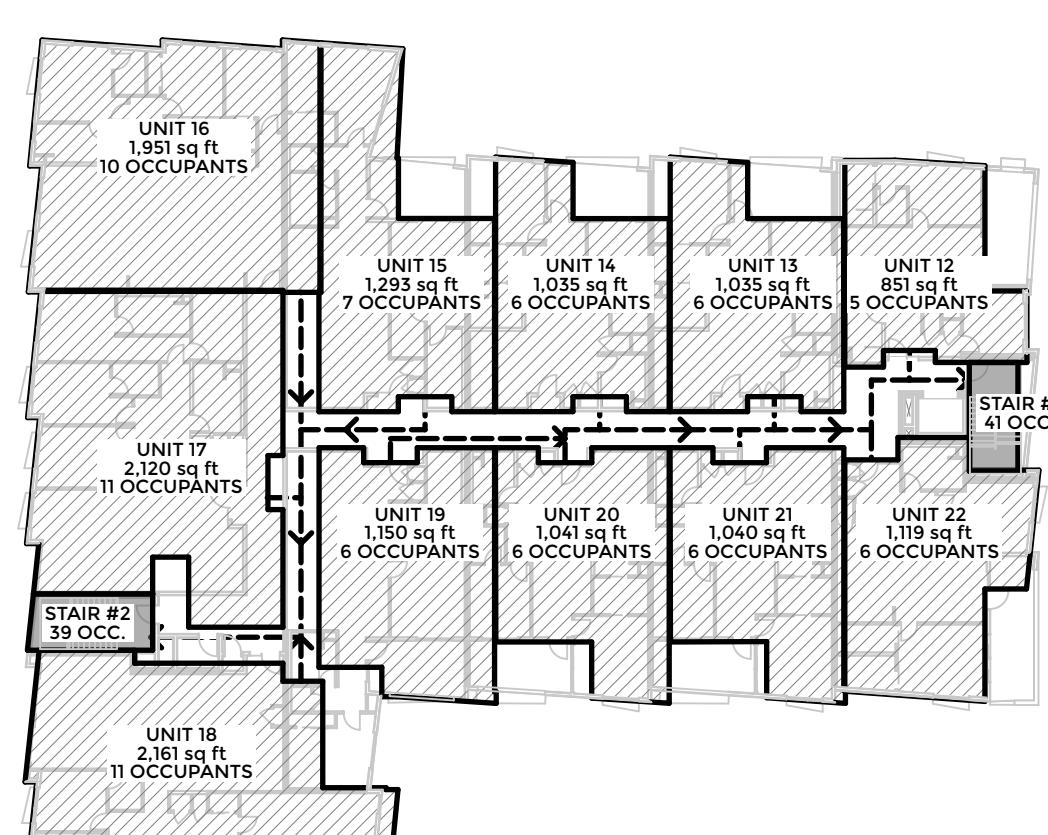
ROOF LEVEL - EGRESS DIAGRAM
SCALE: 1/32" = 1'-0" 5



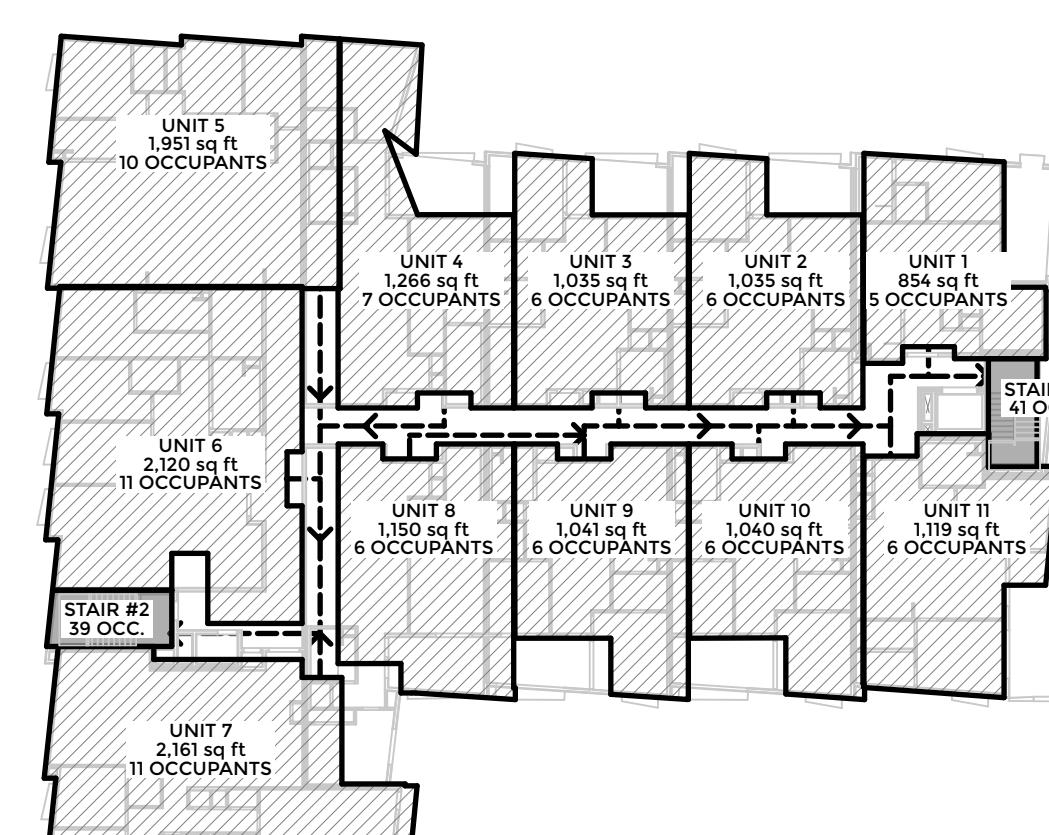
FRONTAGE DIAGRAM
SCALE: 1/32" = 1'-0" 6



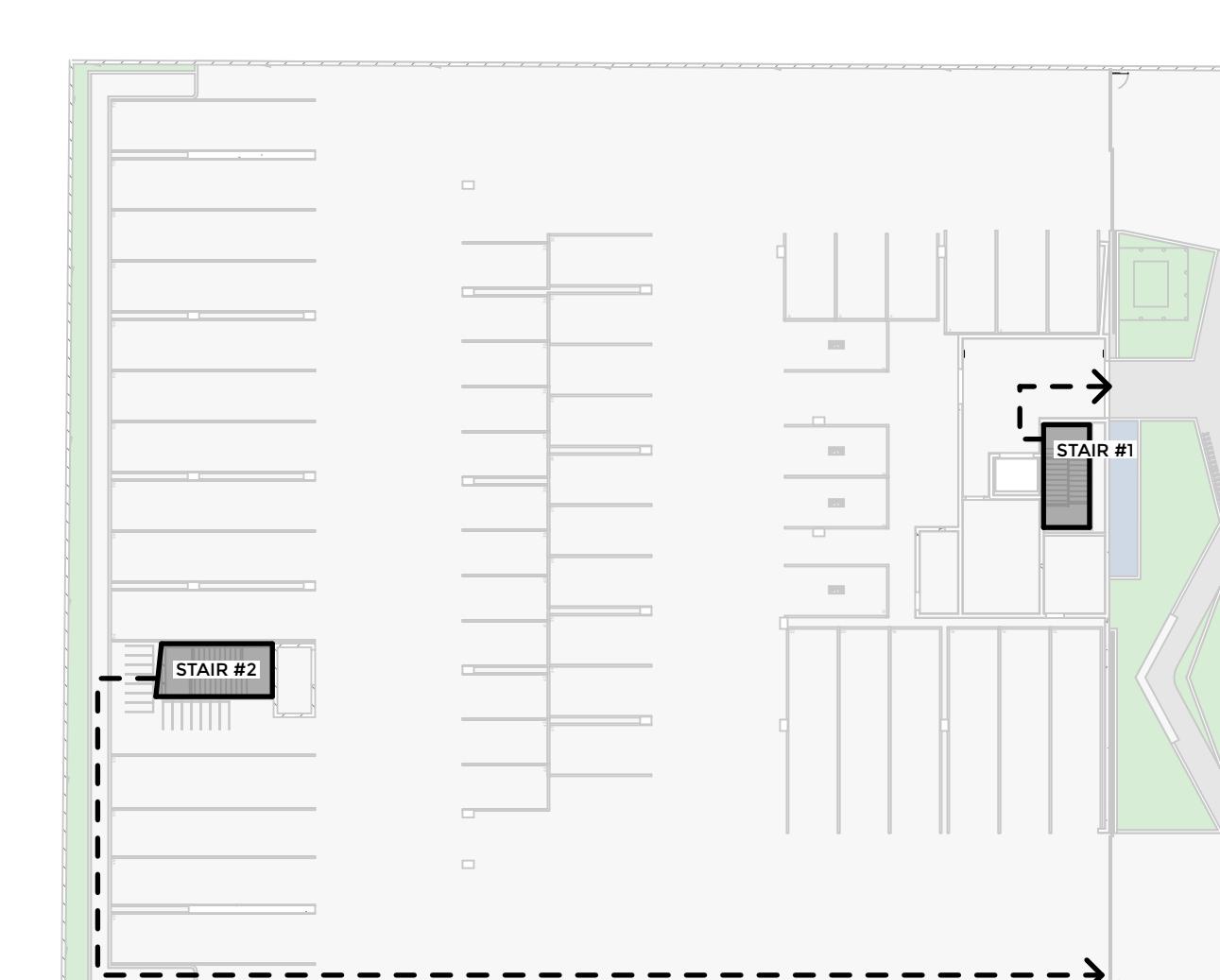
4TH FLOOR - EGRESS DIAGRAM
SCALE: 1/32" = 1'-0" 4



3RD FLOOR - EGRESS DIAGRAM
SCALE: 1/32" = 1'-0" 3



2ND FLOOR - EGRESS DIAGRAM
SCALE: 1/32" = 1'-0" 2



GROUND FLOOR - EGRESS DIAGRAM
SCALE: 1/32" = 1'-0" 1



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
BIRCH

PROJECT NUMBER
17065

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REAL QUEST HOLDING, LLC
MR. MICHAEL WANG C/O CHIH
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(626) 271-5322

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21809-21811 FIGUEROA STREET
CARSON, CA 90745

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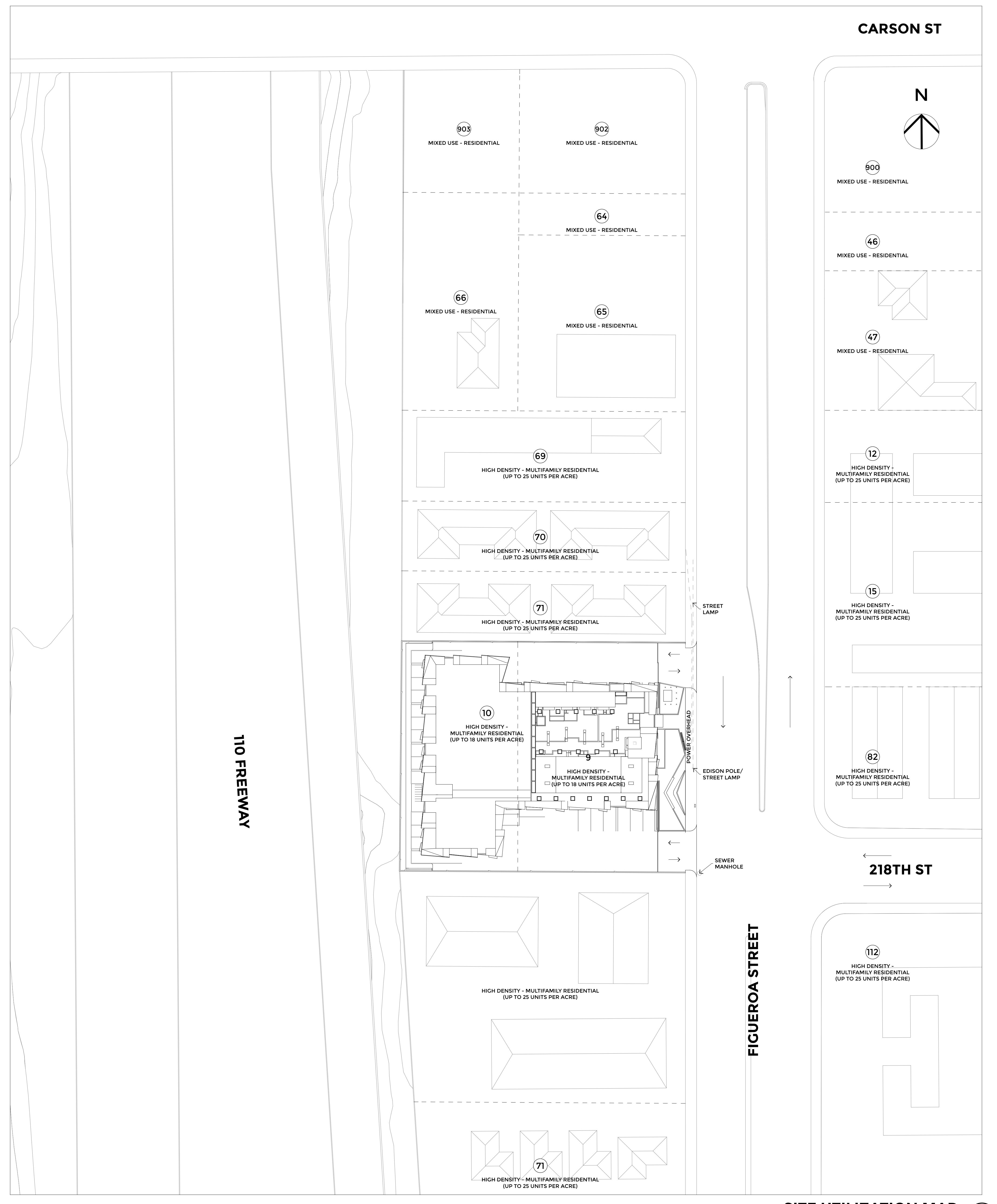
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SHEET TITLE
**SITE UTILIZATION
MAP**

A-1.0



SITE UTILIZATION MAP

SCALE: 1/32" = 1'-0"

1



Laney LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
BIRCH

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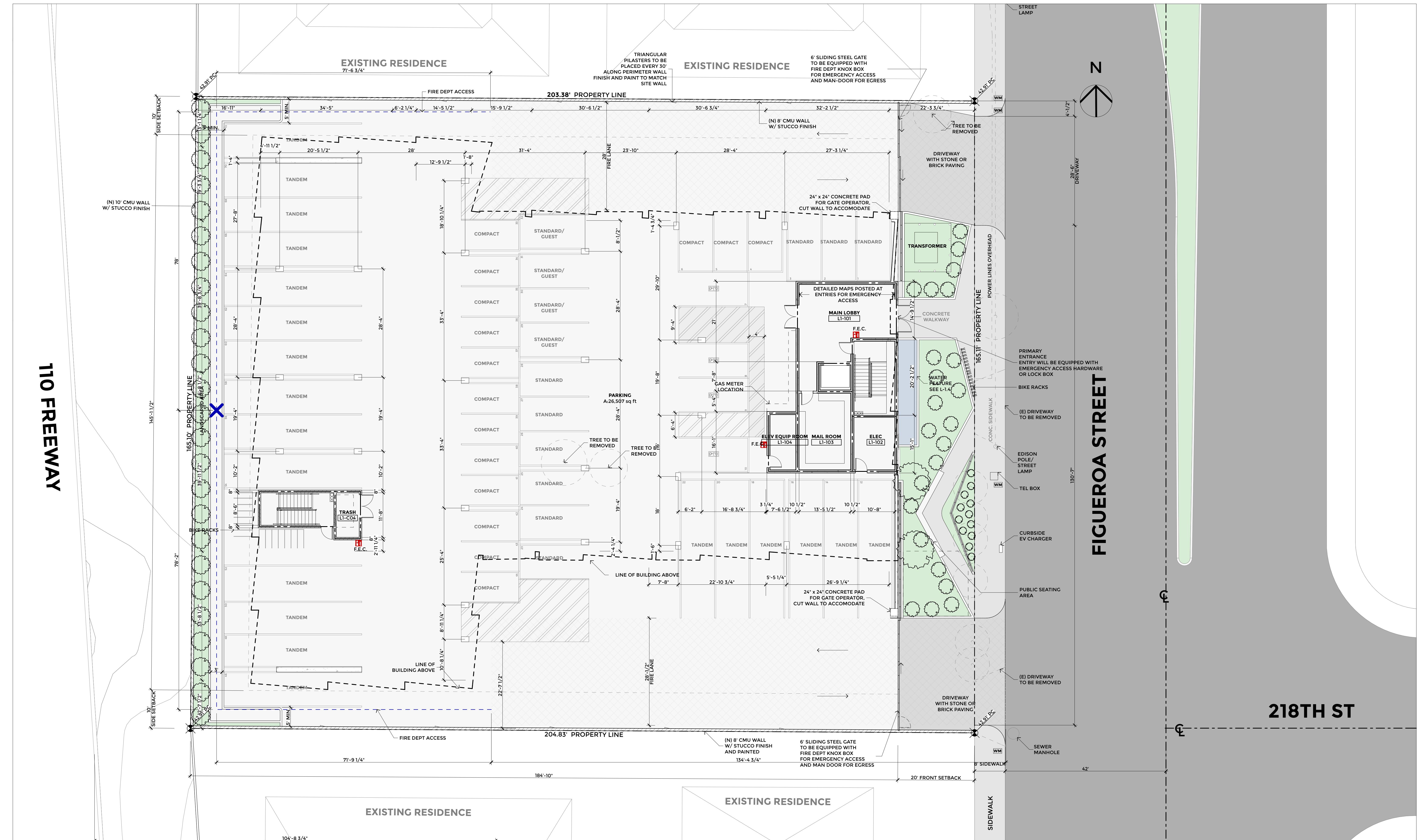
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SHEET TITLE

SITE PLAN

G-115.0



UNIT #	PLAN TYPE	# OF BEDROOMS	AREA (SF)	OPEN SPACE (SF)
1	A	2	924	150
2	K	2	1,108	157
3	K	2	1,104	158
4	H	2	1,427	154
5	C	3	1,703	N/A
6	E	3	1,774	N/A
7	G	3	1,978	N/A
8	I	2	1,326	151
9	B	2	1,103	165
10	B	2	1,135	175
11	J	2	920	150
12	A	2	1,108	157
13	K	2	1,104	158
14	K	2	1,427	154
15	H	2	1,701	N/A
16	C	3	1,774	N/A
17	E	3	1,978	N/A
18	G	3	1,326	151
19	I	2	1,100	158
20	B	2	1,103	165
21	B	2	1,135	175
22	J	2	1,381	150
23	F	3	1,918	157
24	I	2	1,427	154
25	H	2	1,705	N/A
26	C	3	1,774	N/A
27	E	3	1,979	N/A
28	D	2	1,326	151
29	I	2	1,100	158
30	B	2	1,103	165
31	B	2	1,135	175
32	J	2		

TOTAL AREA: 44,208 SF 3,646 SF



Laney LA
LIFESTYLE + ARCHITECTURE

GRAPHICS LEGEND

CAST-IN-PLACE CONCRETE
NO PARKING ZONE
LIGHTWEIGHT CONCRETE FINISH
ACRYLIC DECK COATINGS
CMU WALL, SEE WALL TYPES SHEET
FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
CLASS I STANDPIPE

WALL FIRE SEPARATIONS LEGEND		
1 HOUR FIRE PARTITION		
2 HOUR FIRE PARTITION		
3 HOUR FIRE PARTITION		

PROJECT NAME
BIRCH

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SHEET TITLE
**FLOOR PLAN - FIRST
FLOOR**

A-101

FIRST FLOOR PLAN +0.0'
SCALE: 1/8" = 1'-0"



GRAPHICS LEGEND

CAST-IN-PLACE CONCRETE
NO PARKING ZONE
LIGHTWEIGHT CONCRETE FINISH
ACRYLIC DECK COATINGS
CMU WALL, SEE WALL TYPES SHEET
FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
CLASS 1 STANDPIPE

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SHEET NOTES

- REFER TO SHEET A0.02 FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.
- DIMENSIONS ARE TO CENTERLINE OF COLUMN, FACE OF STUD, FACE OF CONCRETE, OR FACE OF MASONRY, UNLESS NOTED OTHERWISE.
- ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING WORK.
- ALL STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL INFORMATION SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. REFER TO CONSULTANT'S DRAWINGS PREPARED BY THE ENGINEER, FOR ALL FRAMING, REFER TO STRUCTURAL DRAWINGS PREPARED BY THE STRUCTURAL ENGINEER, CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO BEGINNING WORK.
- APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.
- REFER TO SHEET 'WALL TYPES' FOR WALL TYPE DETAILS.
- REFER TO SHEETS 'BUILDING CODE ANALYSIS' FOR EGRESS, CODE ANALYSIS, AND FIRE RATED ASSEMBLY INFORMATION.
- REFER TO SHEETS 'SLAB PLANS' FOR GRADES AND DRAINAGE.
- REFER TO SHEETS 'FINISH PLANS' AND 'INTERIOR FINISH SCHEDULE' FOR FLOOR FINISHES.
- REFER TO SHEET 'WINDOW SCHEDULE AND TYPES' AND 'STORE FRONT SCHEDULE/LEAD TYPES' FOR WINDOW AND STOREFRONT TYPES AND GLAZING INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION JOINTS OF WALKS AND HARDSCAPE AREA.
- ALL ILLUMINATED EXIT SIGNS SHOWN SHALL BE CLEARLY VISIBLE AND NOT OBSTRUCTED BY PIPES, MECHANICAL DUCTWORK, EQUIPMENT, ETC. CONTRACTOR TO PROVIDE PENDANT EXTENSIONS AT ALL CEILING HUNG EXIT SIGNS AS REQUIRED PER GOVERNING CODE REQUIREMENTS.
- WALKING SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP RESISTANT SURFACE AND BE SECURELY ATTACHED.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
- PROVIDE FURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAIN LINES THAT EXTEND UP THE INTERIOR WALL SURFACE.
- PROVIDE 2A-10BC FIRE EXTINGUISHER IN LOCATIONS AS REQUIRED BY FIRE DEPARTMENT. PROVIDE SIGN, APPROVED BY THE FIRE DEPARTMENT, REQUIRED TO INDICATE THE LOCATION OF THE FIRE EXTINGUISHER.
- SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- TANDUM SPACES TO BE ASSIGNED TO THE SAME UNIT.

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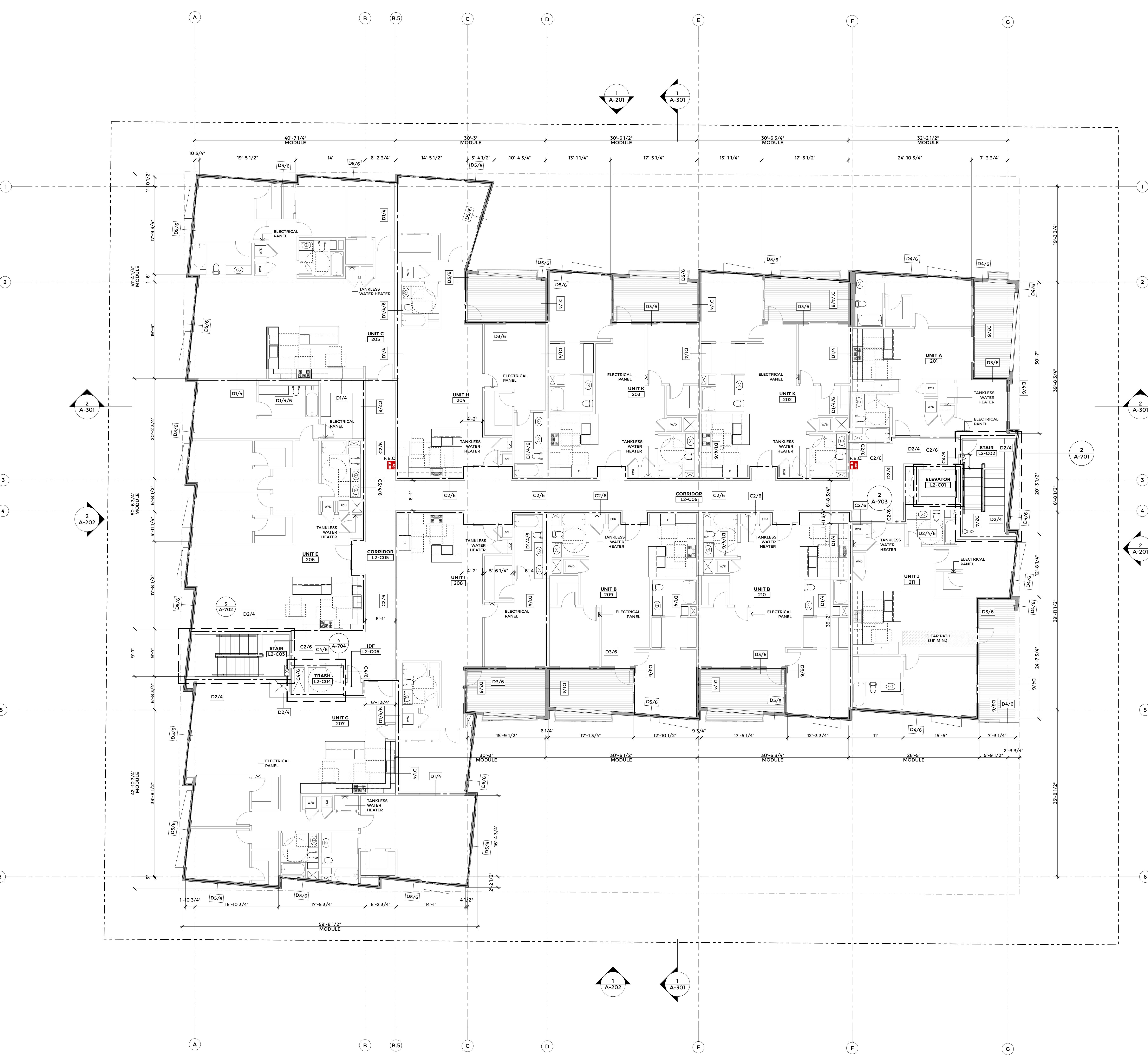
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SHEET TITLE
**FLOOR PLAN -
SECOND FLOOR**

A-102

SECOND FLOOR PLAN +10.0'
SCALE: 1/8" = 1'-0"





Laney LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
BIRCH

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WANG
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GRAPHICS LEGEND

CAST-IN-PLACE CONCRETE
NO PARKING ZONE
LIGHTWEIGHT CONCRETE FINISH
ACRYLIC DECK COATINGS
CMU WALL, SEE WALL TYPES SHEET
FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
CLASS I STANDPIPE
WALL FIRE SEPARATIONS LEGEND
1 HOUR FIRE PARTITION
2 HOUR FIRE PARTITION
3 HOUR FIRE PARTITION

SHEET NOTES

- REFER TO SHEET A0.02 FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.
- DIMENSIONS ARE TO CENTERLINE OF COLUMN, FACE OF STUD, FACE OF CONCRETE, OR FACE OF MASONRY, UNLESS NOTED OTHERWISE.
- ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING WORK.
- ALL STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL INFORMATION SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. REFER TO CONSULTANTS DRAWINGS PREPARED BY THE ENGINEER, FOR ALL FRAMING, REFER TO STRUCTURAL DRAWINGS PREPARED BY THE STRUCTURAL ENGINEER, CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO BEGINNING WORK.
- APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.
- REFER TO SHEET "WALL TYPES" FOR WALL TYPE DETAILS.
- REFER TO SHEETS "BUILDING CODE ANALYSIS" FOR EGRESS, CODE ANALYSIS, AND FIRE RATED ASSEMBLY INFORMATION.
- REFER TO SHEETS "SLAB PLANS" FOR GRADES AND DRAINAGE.
- REFER TO SHEETS "FINISH PLANS" AND "INTERIOR FINISH SCHEDULE" FOR FLOOR FINISHES.
- REFER TO SHEET "WINDOW SCHEDULE AND TYPES" AND "STORE FRONT SCHEDULE/TYPE" FOR WINDOW AND STOREFRONT TYPES AND GLAZING INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION JOINTS OF WALKS AND HARDSCAPE AREA.
- ALL ILLUMINATED EXIT SIGNS SHOWN SHALL BE CLEARLY VISIBLE AND NOT OBSTRUCTED BY PIPES, MECHANICAL DUCTWORK, EQUIPMENT, ETC. CONTRACTOR TO PROVIDE PENDANT EXTENSIONS AT ALL CEILING HUNG EXIT SIGNS AS REQUIRED PER GOVNING CODE REQUIREMENTS.
- WALKING SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP RESISTANT SURFACE AND BE SECURELY ATTACHED.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
- PROVIDE FURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAIN LINES THAT EXTEND UP THE INTERIOR WALL SURFACE.
- PROVIDE 2A-10BC FIRE EXTINGUISHER IN LOCATIONS AS REQUIRED BY FIRE DEPARTMENT, PROVIDE SIGN, APPROVED BY THE FIRE DEPARTMENT, REQUIRED TO INDICATE THE LOCATION OF THE FIRE EXTINGUISHER.
- SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- TANDUM SPACES TO BE ASSIGNED TO THE SAME UNIT.

NOT FOR
CONSTRUCTION

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3	11/30/17	100% DESIGN DEVELOPMENT
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5	07/10/18	DEVELOPMENT APPLICATION REVISION

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SHEET TITLE

FLOOR PLAN -
THIRD FLOOR

THIRD FLOOR PLAN +20.0'

SCALE: 1/8" = 1'-0"

1

A-103



GRAPHICS LEGEND

CAST-IN-PLACE CONCRETE
NO PARKING ZONE
LIGHTWEIGHT CONCRETE FINISH
ACRYLIC DECK COATINGS
CMU WALL, SEE WALL TYPES SHEET
FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
CLASS 1 STANDPIPE

WALL FIRE SEPARATIONS LEGEND	
1 HOUR FIRE PARTITION	
2 HOUR FIRE PARTITION	
3 HOUR FIRE PARTITION	

LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
BIRCH

PROJECT NUMBER
17065

CLIENT
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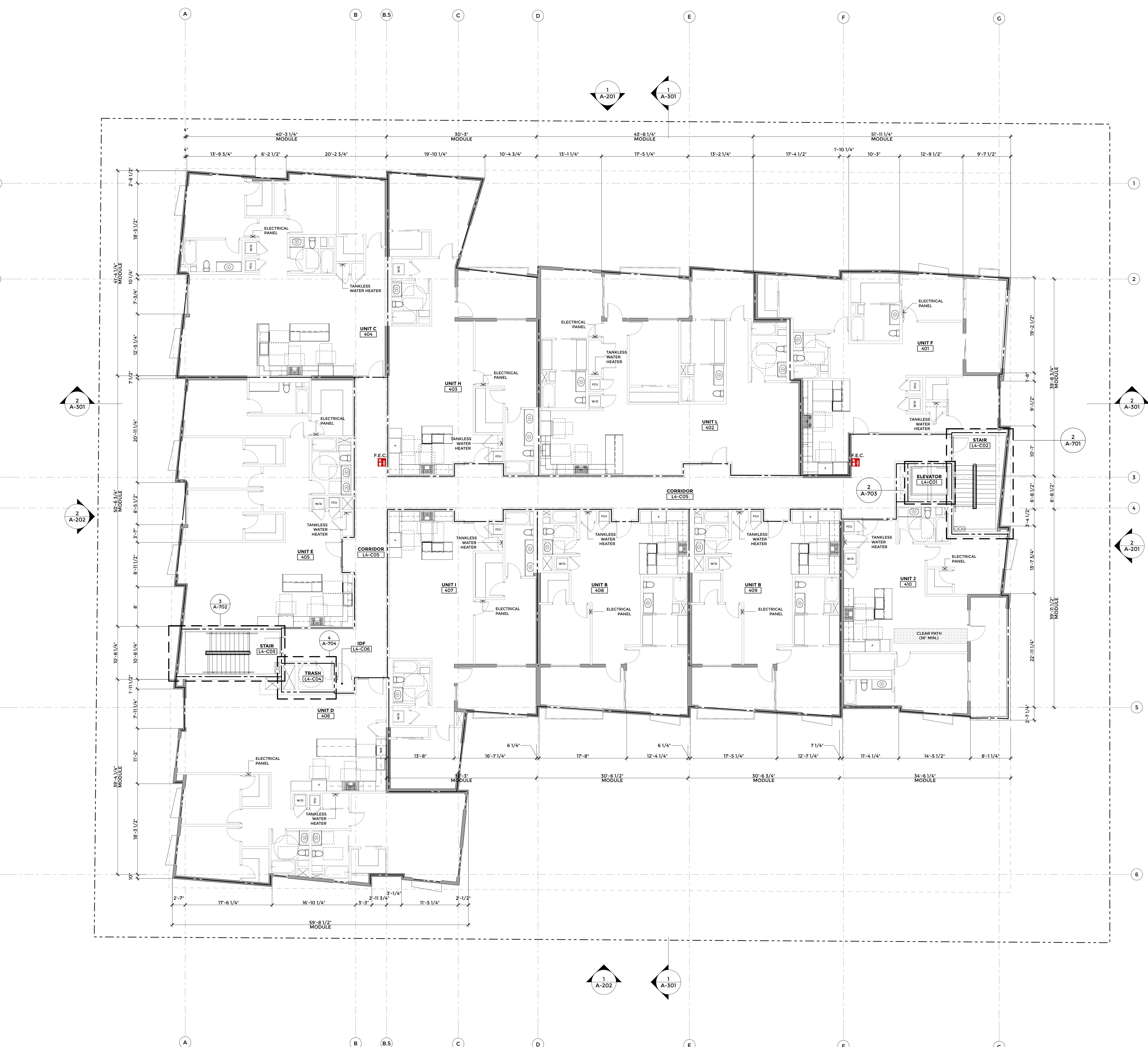
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SHEET TITLE
**FLOOR PLAN -
FOURTH FLOOR**

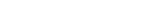
A-104

FOURTH FLOOR PLAN +30.0'
SCALE: 1/8" = 1'-0"





GRAPHICS LEGEND

	CAST-IN-PLACE CONCRETE
	NO PARKING ZONE
	LIGHTWEIGHT CONCRETE FINISH
	ACRYLIC DECK COATINGS
	CMU WALL, SEE WALL TYPES SHEET
 F.E.C.	FIRE EXTINGUISHER CABINET, SEE DETAILS 25/A8.10 AND 24/A8.10
	CLASS 1 STANDPIPE
WALL FIRE SEPARATIONS LEGEND	
	1 HOUR FIRE PARTITION
	2 HOUR FIRE PARTITION
	3 HOUR FIRE PARTITION

LANEY LA

LIFESTYLE + ARCHITECTURE

PROJECT NAME

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SHEET NOTES

01. REFER TO SHEET A0.02 FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.
02. DIMENSIONS ARE TO CENTERLINE OF COLUMN, FACE OF STUD, FACE OF CONCRETE, OR FACE OF MASONRY, UNLESS NOTED OTHERWISE.
03. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING WORK.
04. ALL STRUCTURAL,PLUMBING,MECHANICAL,AND ELECTRICAL INFORMATION SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. REFER TO CONSULTANTS DRAWINGS PREPARED BY THE ENGINEER. FOR ALL FRAMING, REFER TO STRUCTURAL DRAWINGS PREPARED BY THE STRUCTURAL ENGINEER. CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO BEGINNING WORK.
05. APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.
06. REFER TO SHEET "DETAILS-THERMAL AND MOISTURE PROTECTION" FOR GENERAL ROOF DETAILS.
07. ROOFING: CLASS A, UL APPROVED ROOFING SYSTEM.
08. ALL ROOF ELEVATIONS ARE GIVEN FROM REFERENCE DATUM 0' 0" ON A1.01.
09. ALL ROOF SLOPES SHALL BE 1/4"/FOOT MINIMUM,INCLUDING SLOPES AT VALLEYS.
10. ROOFING CONTRACTOR SHALL CONFIRM THAT ALL AREAS OF THE ROOF ARE PROVIDED WITH POSITIVE DRAINAGE.
11. SIZE THE ROOF DRAINS AND OVERFLOW DRAINS IN ACCORDANCE WITH CHAPTER 11 OF (CBC 1503.4)
12. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SIZES AND LOCATION OF ROOF OPENINGS, VENTS, DUCTS, PLATFORMS, PREFABRICATED CURBS, ETC. COORDINATE SIZE OF MECHANICAL EQUIPMENT AND DUCT OPENINGS SHOWN AND SPECIFIED ON MECHANICAL PLANS AND COORDINA THE LOCATION OF THE POWER.
13. SECURITY BARRIERS, VISUAL SCREEN BARRIERS, OR OTHER OBSTRUCTIONS SHALL NOT BE INSTALLED ON THE ROOF OF ANY BUILDING IN SUCH A MANN AS TO OBSTRUCT FIREFIGHTER ACCESS OR EGRESS IN THE EVENT OF FIRE OR EMERGENCY. PARAPETS SHALL NOT EXCEED THE HEIGHT REQUIRED FROM THE TOP OF THE PARAPET TO THE ROOF SURFACE ON MORE THAN TWO SIDE PER GOVERNING CODE REQUIREMENTS.
14. ALL ROOF PENETRATIONS FOR PLUMBING VENTS, ELECTRICAL CONDUITS, ETC. SHALL BE FLASHED (WATERTIGHT) PER SPECIFICATIONS AND STANDARD DETAILS. PLUMBING VENTS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTAL OR 3 FEET ABOVE OUTSIDE AIR INTAKE OF THE A.C. UNIT OR MAKEUP AIR UNIT.
15. SYSTEM SHALL BE SIZED FOR MIN. RAIN INTENSITY OF 3" PER HOUR.
16. THE ROOF DRAIN AND OVERFLOW DRAIN MUST MAINTAIN IN DEPENDENT LINES TO THE YARD BOX
17. ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY.
18. SECONDARY ROOF DRAINS HAVING THE SAME SIZE AS THE PRIMARY ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED A MIN. 2' ABOVE THE LOW POINT OF THE ROOF.
19. SCUPPERS THROUGH PARAPET WALLS ADJACENT TO THE LOW POINT OF THE ROOF MAYBE USED AS SECONDARY ROOF DRAINAGE. SCUPPER OPENINGS SHALL BE A MIN. OF 4" HIGH AND HAVE A WIDTH EQUAL TO THE AREA SERVE
20. OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO CPCT1101.1

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SHEET TITLE

FLOOR PLAN - ROOF LEVEL

ROOF PLAN

SCALE: 1/8" = 1'-0" 1



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
BIRCH

PROJECT NUMBER
17065

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SHEET TITLE
**BUILDING
ELEVATIONS**

A-201



LANEY LA

LIFESTYLE + ARCHITECTURE

PROJECT NAME

BIRCH

PROJECT NUMBER

17065

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SOUTH ELEVATION

SCALE: 1/8" = 1'



2

WEST ELEVATION

SCALE: 1/8" = 1'

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DRAWN BY:	DD
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SHEET TITLE

BUILDING

ELEVATIONS

A-202



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
BIRCH

PROJECT NUMBER
17065

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CARSON, CA 90745



EW SECTION 2

SCALE: 1/8" = 1'-0"



NS SECTION 1

SCALE: 1/8" = 1'-0"

KEYNOTES

- 1 WOOD STUD WALL WITH BRICK VENEER
- 2 VERTICAL WOOD CLADDING
- 3 WOOD STUD WALL WITH SANDY GREY STUCCO FINISH
- 4 2' METAL RAILING SET AT 42" HIGH WITH 3 7/8" CAP
- 5 42" PAINTED METAL RAILING
- 6 CONCRETE COLUMNS PAINTED WHITE
- 7 CONCRETE WALL WITH STUCCO FINISH, PAINTED WHITE
- 8 CONCRETE SLAB
- 9 WOOD FLOOR ASSEMBLY
- 10 INTERIOR STUD WALL
- 11 42" PLANTER WITH BRICK VENEER
- 12 ROOF DECK ASSEMBLY
- 13 SLIDING DOOR
- 14 WOOD CABANA
- 15 FIXED WINDOW WITH AWNING WINDOW ABOVE
- 16 OUTDOOR KITCHEN
- 17 OVERHANG WITH WOOD CLADDING
- 18 STUD WALL WITH WOOD CLADDING
- 19 MECHANICAL EQUIPMENT SCREENING
- 20 STEEL PLATE AWNING, PAINTED TO MATCH WINDOW FRAME COLOR

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SHEET TITLE
BUILDING SECTIONS

A-301



LANEY LA

LIFESTYLE + ARCHITECTURE

PROJECT NAME

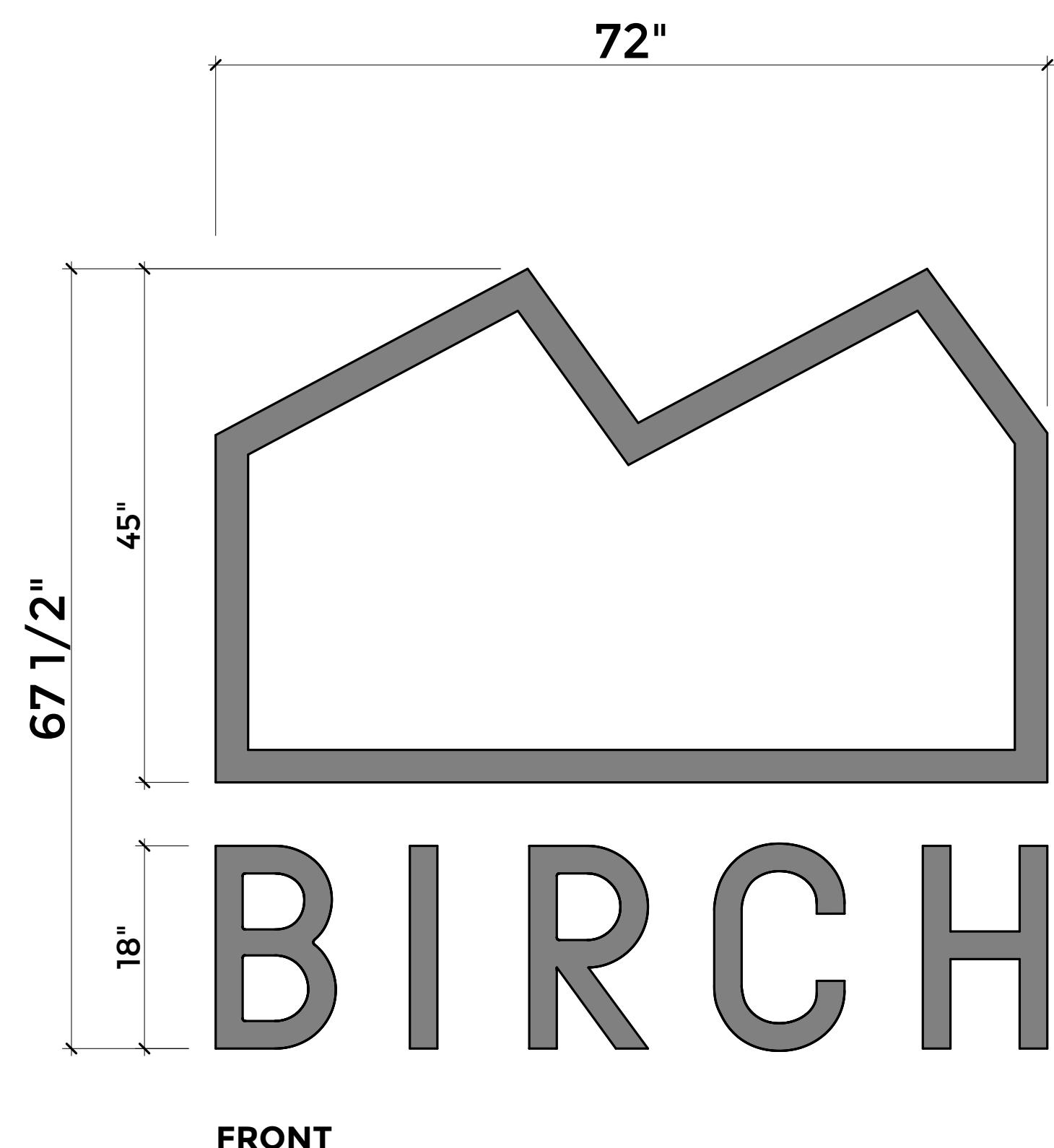
BIRCH

PROJECT NUMBER

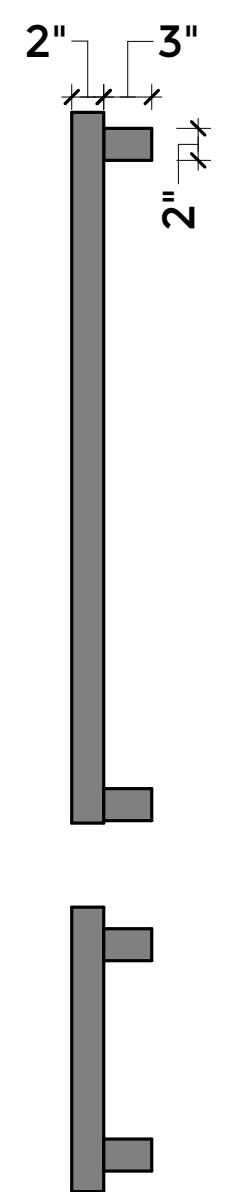
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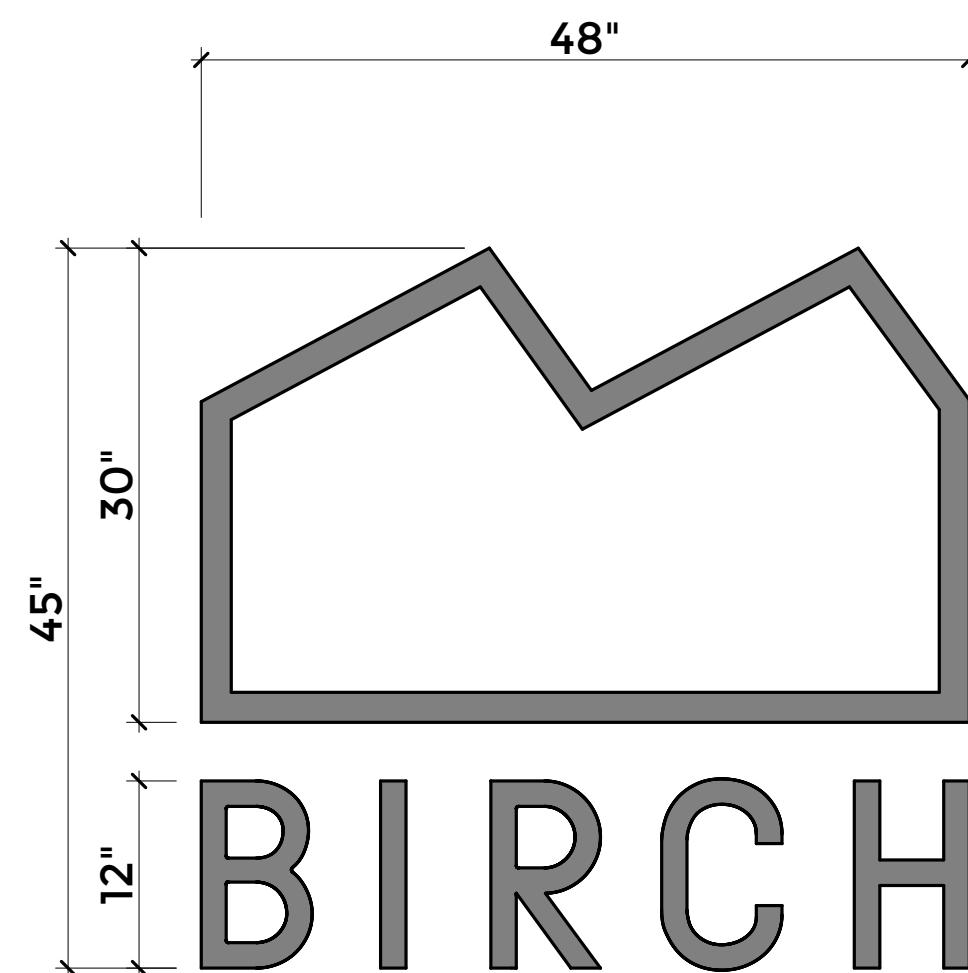
PROJECT ADDRESS
21809-21811 FIGUEROA STREET
CARSON, CA 90745



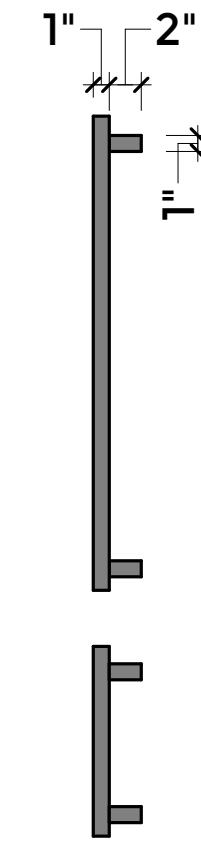
FRON



SIDE



FRONT



SIDE

SIGN B



SIGN DESCRIPTION:
INDIVIDUAL ALUMINUM FABRICATE
HALO CHANNEL LETTERS WITH LED
BACKLIGHTING.

SIGN AREA:
34 SF, HEIGHT NOT TO EXCEED 68"

**SIGN AREA:
34 SF, HEIGHT NOT TO EXCEED**



**SIGN DESCRIPTION:
INDIVIDUAL ALUMINUM FABRICATE
HALO CHANNEL LETTERS WITH LED
BACKLIGHTING.**

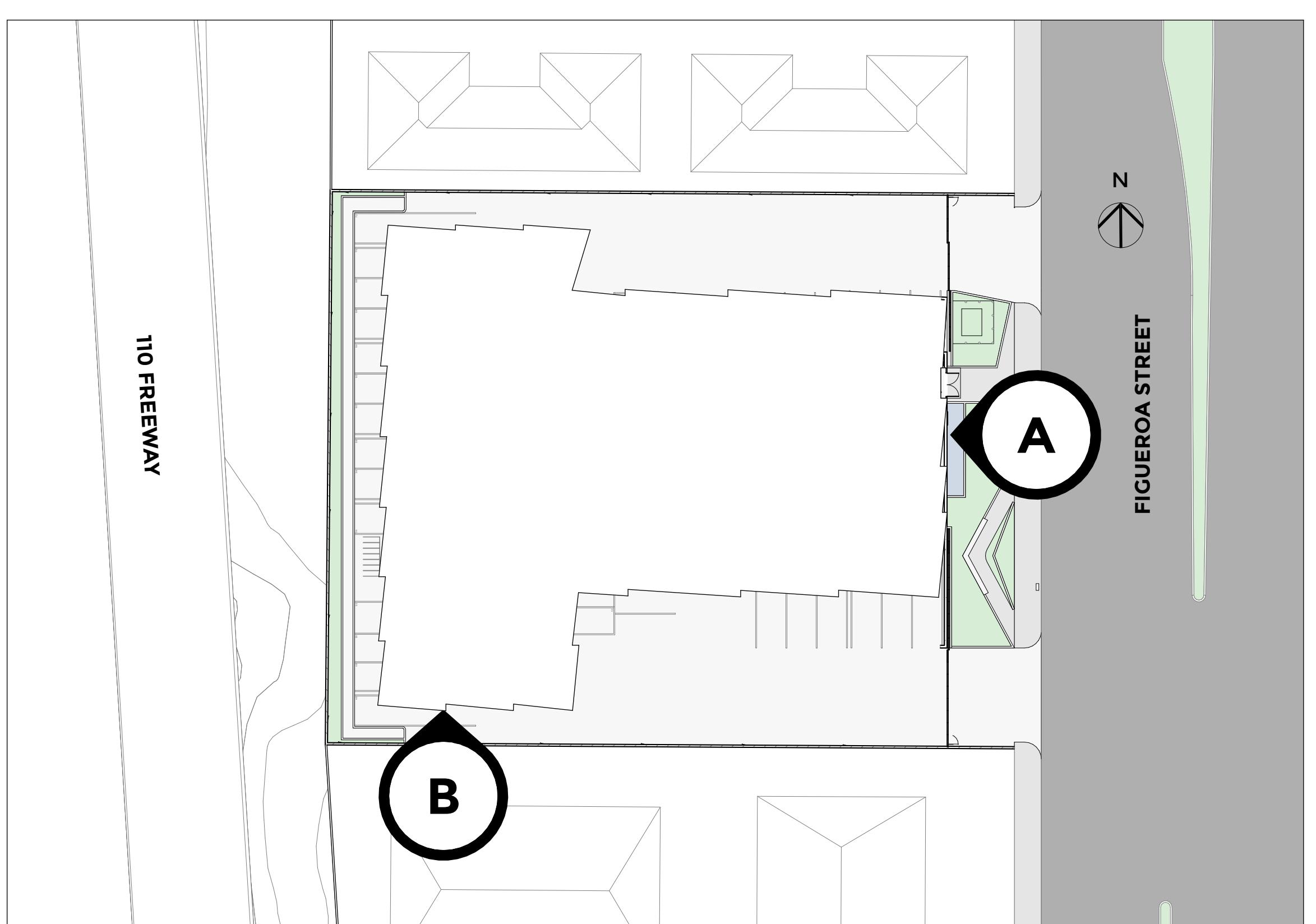
**SIGN AREA:
15 SF, HEIGHT NOT TO EXCEED 45"**

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SHEET TITLE



SIGNAGE PLAN

SCALE: 1/32" = 1'-0" **3**

A-6.0



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
BIRCH

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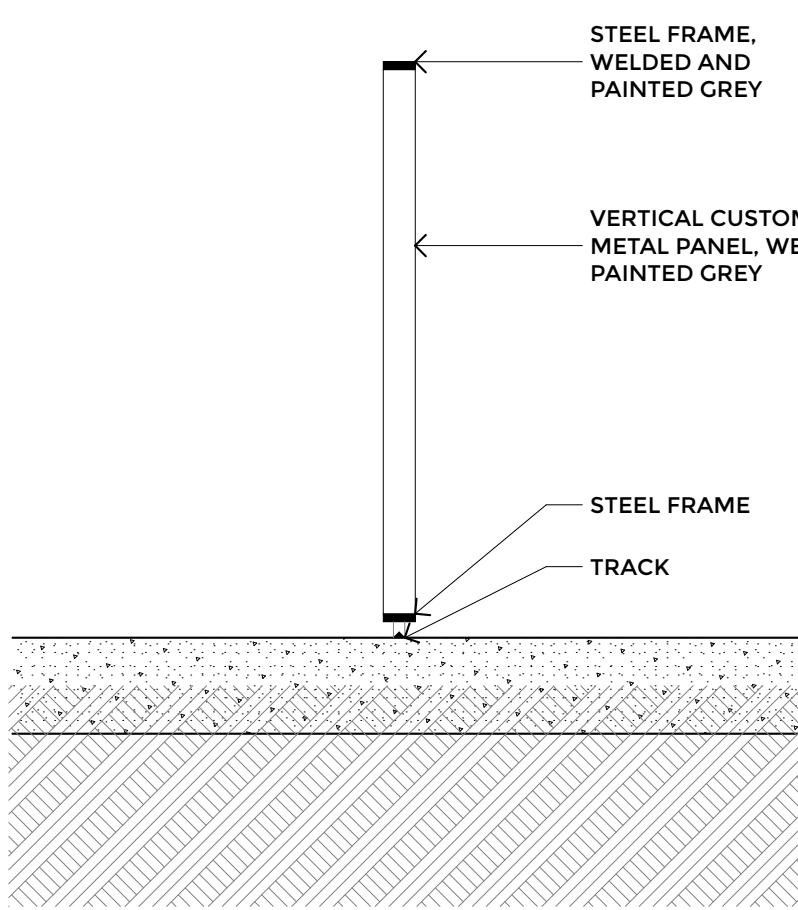
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SHEET TITLE
**MAIN ENTRY
ENLARGED
DRAWINGS**

A-6.1

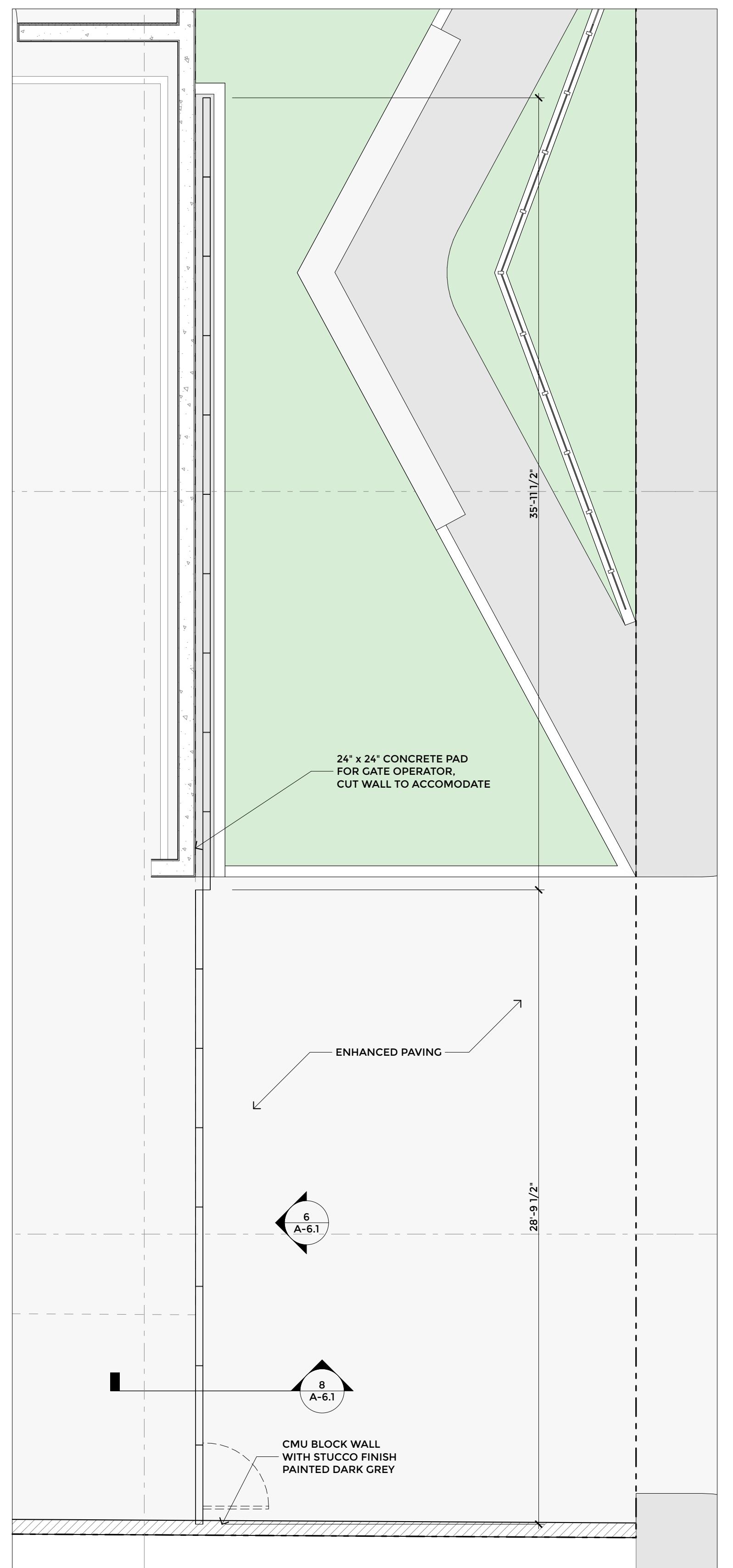


SOUTH SLIDING GATE 7



SOUTH SLIDING GATE SECTION 8

SCALE: 1/2" = 1'-0"

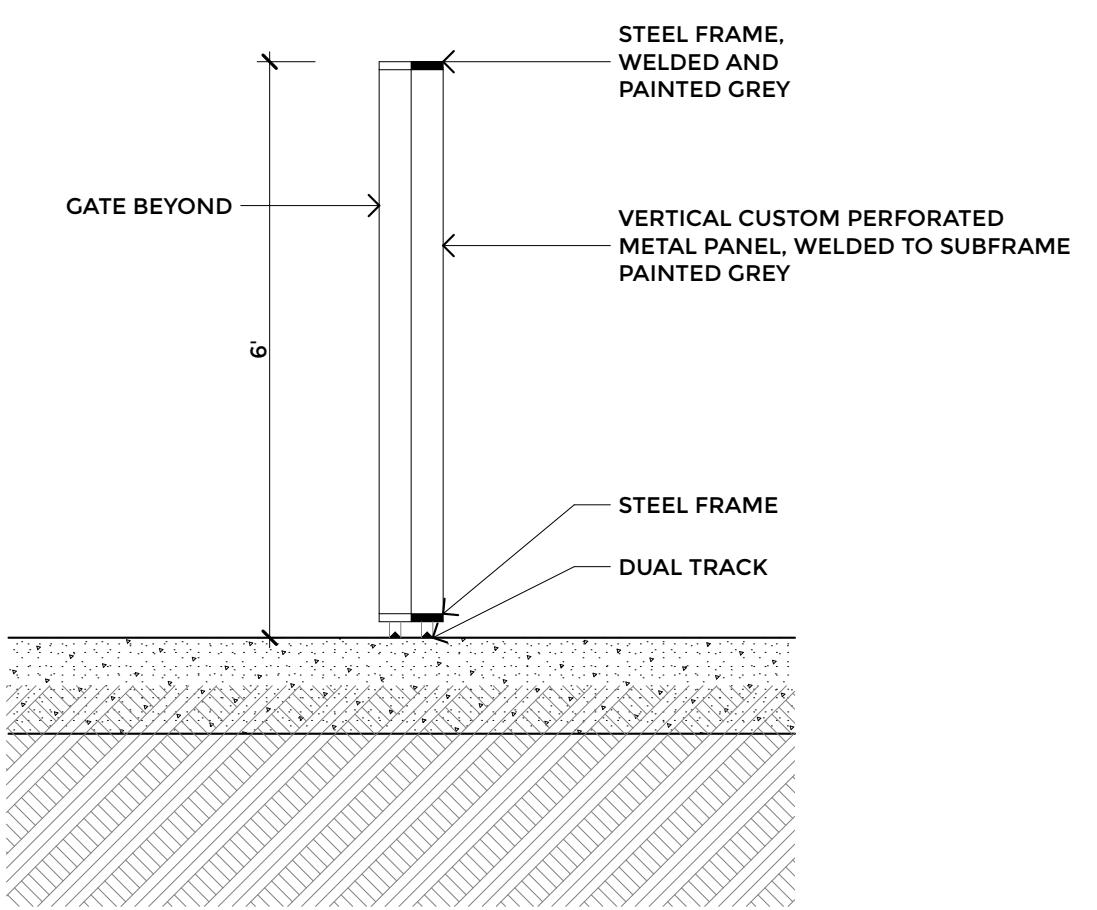


SOUTH SLIDING GATE PLAN 5

SCALE: 1/4" = 1'-0"

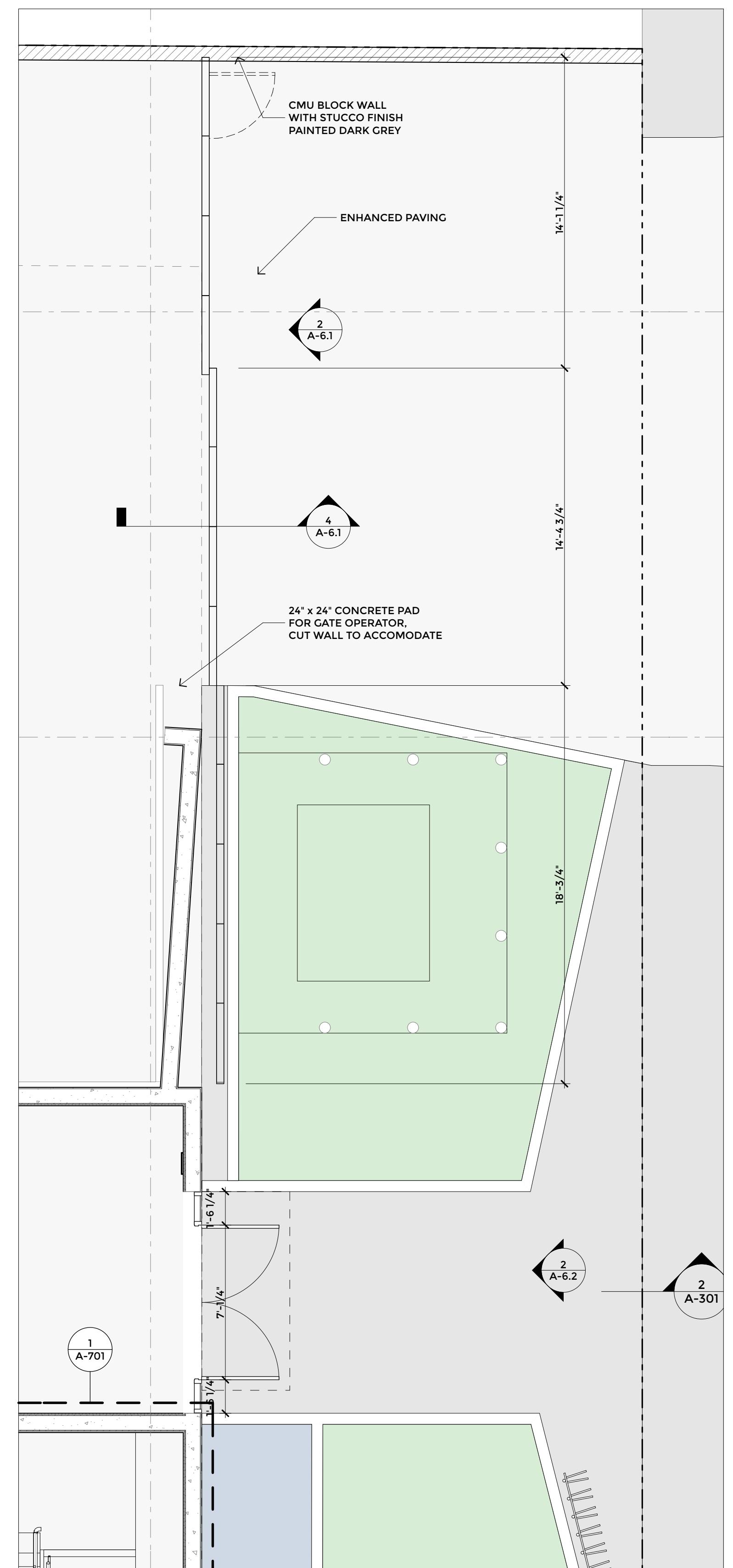


NORTH SLIDING GATE 3



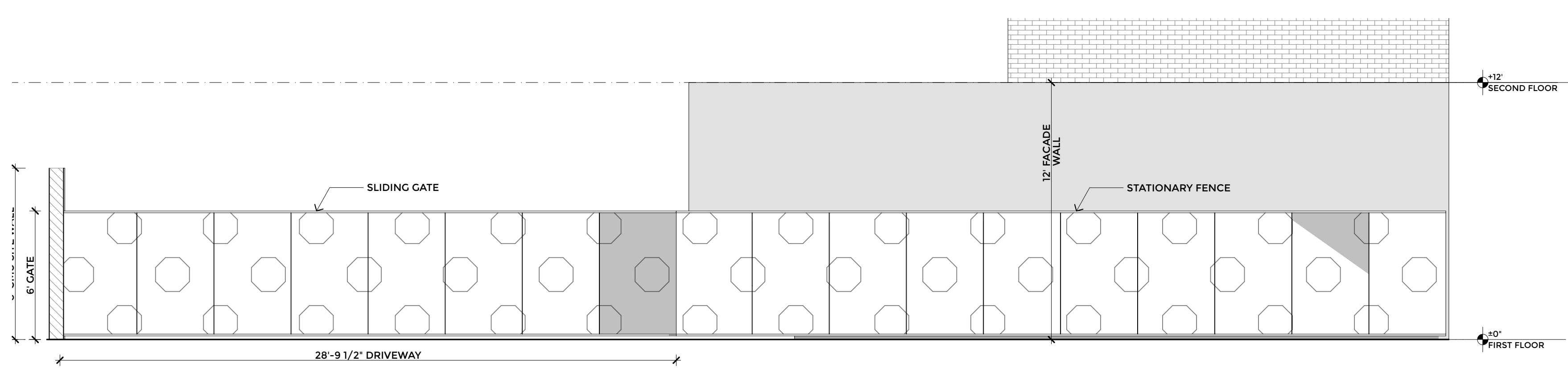
NORTH SLIDING GATE SECTION 4

SCALE: 1/2" = 1'-0"



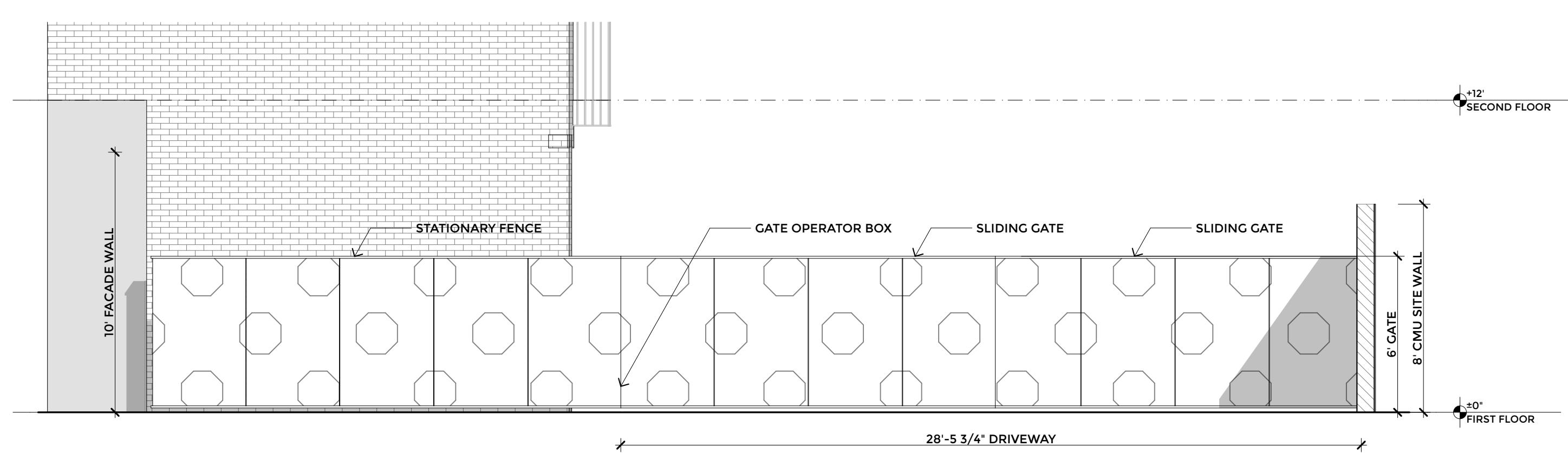
NORTH SLIDING GATE PLAN 1

SCALE: 1/4" = 1'-0"



SOUTH SLIDING GATE ELEVATION 6

SCALE: 1/4" = 1'-0"



NORTH SLIDING GATE ELEVATION 2

SCALE: 1/4" = 1'-0"



LANEY LA

LIFESTYLE + ARCHITECTURE

PROJECT NAME

BIRCH

PROJECT NUMBER

17065

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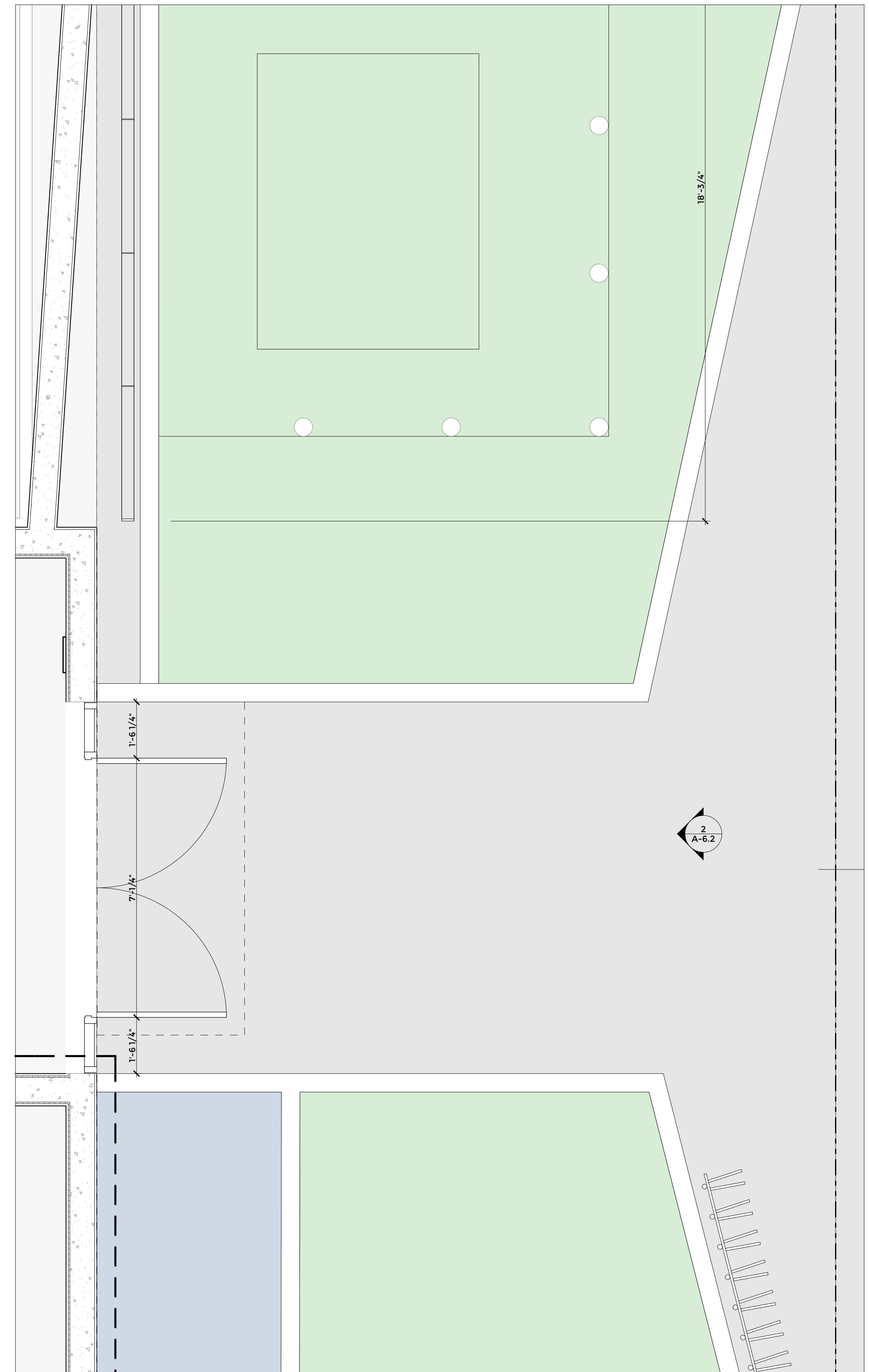
SHEET T

MAIN ENTRY ENLARGED DRAWINGS



ENTRY PERSPECTIVE

SCALE 1" = 1' 0"



ENTRY PLAN

PLAN



ENTRY ELEVATION

E: 1/4" = 1'-0"

A-6.2



A *STIPA TENUISSIMA*
'MEXICAN FEATHERGRASS'
(WUCOLS - LOW)



B *AGAVE ATTENUATA*
'FOX TAIL AGAVE'
(WUCOLS - LOW)



C *SENECIO SERPENS*
'BLUE CHALKSTICKS'
(WUCOLS - LOW)



D *EUPHORBIA MYRSINIFOLIA*
'MYRTLE SPURGE'
(WUCOLS - LOW)



E *PARTHENOCISSUS TRICUSPIDATA*
'BOSTON IVY'
(WUCOLS - MEDIUM)



F *CAREX TUMULICOLA*
'BERKELEY SEDGE'
(WUCOLS - LOW)



G *MISANTHUS SINENSIS 'MORNING LIGHT'*
'MAIDEN GRASS'
(WUCOLS - MEDIUM)



H *GINKGO BILOBA 'PRINCETON SENTRY'*
'MAIDENHAIR TREE'
(WUCOLS - MEDIUM)



J *PODOCARPUS ELONGATUS 'ICEE BLUE'*
'YELLOW WOOD'
(WUCOLS - MEDIUM)



K *Olea europaea 'SWAN HILL'*
'FRUITLESS OLIVE'
(WUCOLS - MEDIUM)



M *WESTRINGIA FRUTICOSA 'MORNING LIGHT'*
'COAST ROSEMARY'
(WUCOLS - LOW)



NOTE:
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AND PLANS REPRESENTED BY THIS
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AND ARE NOT TO BE REPRODUCED
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WITHOUT FIRST OBTAINING
PERMISSION AND CONSENT IN
WRITING FROM MIRIAM RAINVILLE

BIRCH

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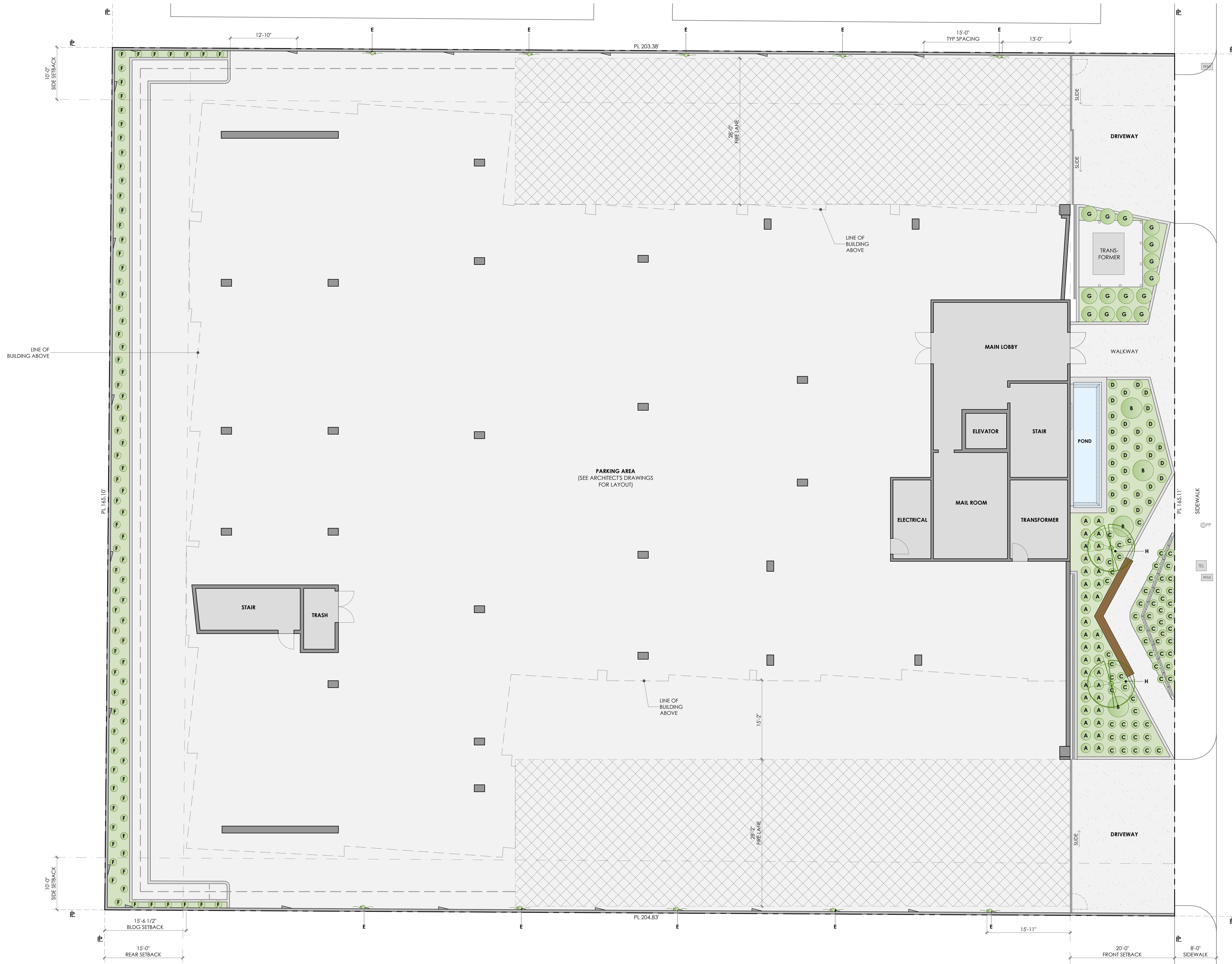
REVISION
09.26.2017
11.02.2017
11.20.2017
11.21.2018

DATE : 11.21.2018
SCALE : AS SHOWN
DRAWN BY : AQ

CONCEPTUAL
PLANT IMAGES

L-0

CONCEPT IMAGES



TREE PLANTING AND CARE INSTRUCTIONS

1. DRAINAGE
PREPARE THE HOLE A COUPLE OF DAYS PRIOR TO PLANTING. FILL THE HOLE WITH 12" OF WATER. THE WATER SHALL DRAIN OVERNIGHT. IF IT DOESN'T, YOU HAVE A DRAINAGE PROBLEM WHICH NEED TO BE CORRECTED WITH A FRENCH DRAIN OR SOME OTHER METHOD THAT TAKES EXCESS WATER DOWN AND AWAY FROM THE BOTTOM OF THE ROOT BALL.

2. PLANTING
THE HOLE SHALL BE 2' WIDER THAN THE BOX SIZE AND THE SAME DEPTH AS THE ROOT BALL. LEAVE THE BOTTOM FOR 48" BOX SIZES AND LARGER FOR STABILITY AND SAFETY. VERIFY THE TOP OF THE ROOT BALL IS EVEN OR SLIGHTLY HIGHER THAN THE SURROUNDING SOIL.

3. SOIL PIPES
48" BOX AND LARGER TREES SHALL HAVE FOR 4" PERFORATED PVC PIPES INSTALLED ON ALL FOUR SIDES TO THE BOTTOM OF THE ROOT BALL. FILL 3 PIPES WITH GRAVEL FOR DEEP FEEDING AND WATERING. USE THE FOURTH PIPE FOR CHECKING THE CONDITION OF THE ROOT BALL (TOO MUCH WATER OR TOO DRY). CAP ALL PIPES APPROXIMATELY 4" ABOVE SOIL LEVEL.

4. WATERING BERM OR BASIN
USE LEFT OVER SOIL MIX TO BUILD A SEVERAL-INCH-HIGH CIRCULAR WATERING BERM AROUND THE ROOT BALL. MAKE SURE THE BERM OR BASIN IS NO LARGER THAN THE ROOT BALL, OTHERWISE WATERING MAY WET THE SOIL AROUND THE TREE, BUT NOT THE ROOTBALL.

IT IS VERY IMPORTANT TO KEEP A NEWLY PLANTED TREE WATERED DURING THE FIRST 12 TO 18 MONTHS. WATER AS OFTEN AS NECESSARY TO KEEP THE ROOT BALL MOIST, BUT NOT SATURATED. THIS MAY MEAN WATERING EVERY 2 TO 3 DAYS AT FIRST, OR ONLY ONCE A WEEK. HOW YOU WATER WILL DEPEND ON THE WEATHER, HOW HOT OR DRY YOUR AREA IS AND YOUR SOIL TYPE. BE ESPECIALLY CAREFUL TO KEEP THE TREES WATERED DURING SANTA ANA WINDS.

6. FERTILIZING

THE TREE SHOULD BE FED IN MARCH, JUNE AND SEPTEMBER WITH A SLOW RELEASE 20-5-5 FERTILIZER MIXED HALF-AND-HALF WITH BLOODMEAL.

STREET LEVEL: PLANT LEGEN

LEGEND	QTY	SIZE	ARRANGEMENT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	WUCOLS IV	NOTES
A	2	QT FLAT	PER PLAN	STIPA TENUISSIMA	MEXICAN FEATHERGRASS	1'-3'	1'-3'	LOW	
B	4	5 GAL	PER PLAN	AGAVE ATTENUATA	FOX TAIL AGAVE	3'-4'	4'-6'	LOW	
C	4	QT FLAT	PER PLAN	SENECIO SERPENS	BLUE CHALKSTICKS	3'-4'	4'-6'	LOW	
D	31	1 GAL	PER PLAN	EUPHORBIA MYRSINITES	MYRTLE SPURGE	1'	1'-2'	LOW	
E	10	1 GAL	PER PLAN	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	6'-8'	8'-10'	MED	
F	6	QT FLAT	PER PLAN	CAREX TUMULICOLA	BERKELEY SEDGE	1'	1'-2'	LOW	
G	15	1 GAL	PER PLAN	MISCANTHUS SINENSIS 'MORNING LIGHT'	MAIDEN GRASS	3'-4'	3'-4'	MED	
H	2	24" BOX	PER PLAN	GINKGO BILOBA 'PRINCETON SENTRY'	MAIDENHAIR TREE	35'-40'	15'-20'	MED	

WUCOLS IV NC

WATER REQUIREMENTS FOR ALL PLANTS LISTED HAVE BEEN CONFIRMED BY
WUCOLS IV PLANT DATABASE PROVIDED BY THE CALIFORNIA DEPARTMENT
OF WATER RESOURCES (DWR) WATER USE EFFICIENCY PROGRAM.

PLANTING NOTES

- SOIL TO BE SAMPLED BY WALLACE LABS (310.615.0116)
- CONTRACTOR TO AMEND PER WALLACE LAB RECOMMENDATION - 2" MIN.
- LEAF POST MULCH ON SURFACE OF ALL P.A.
- DURA EDGE AT ALL P.A. EDGES WWW.JDRUSSELCO.COM (800.888.7425)
- WEATHER BASED AUTOMATED IRRIGATION SHALL BE PROVIDED FOR ALL THE LANDSCAPED AREAS

- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE IS CONTRAINDICATED.

PLANTING PLAN STREET LEVEL

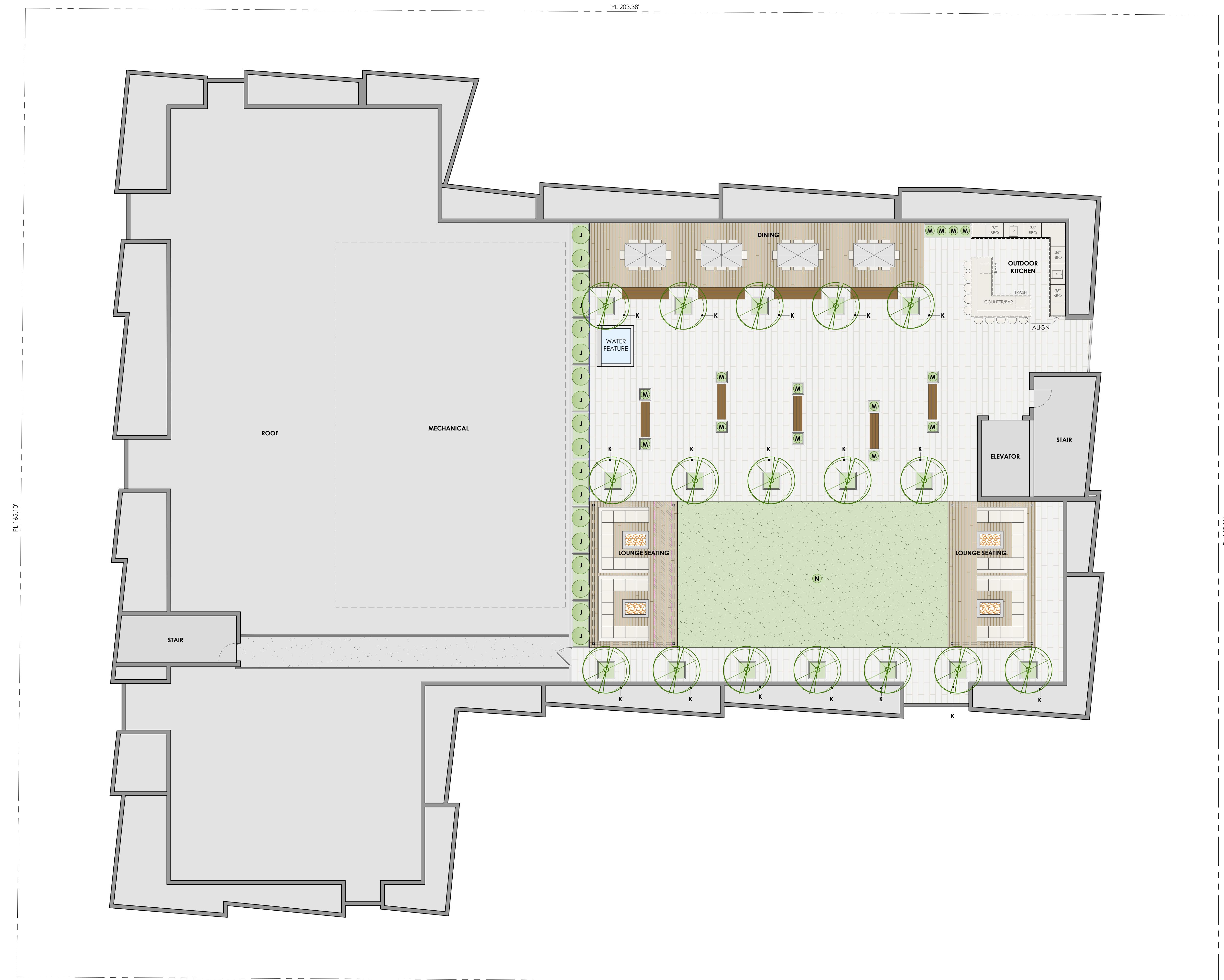
1/8" : 1'-0"



DATE : 11.21.2018
SCALE : AS SHOWN
DRAWN BY : AQ

12

PLANTING PLA



TREE PLANTING AND CARE INSTRUCTIONS

1. DRAINAGE
Prepare the hole a couple of days prior to planting. Fill the hole with 12" of a mix of sand, dirt, and topsoil. If it doesn't, you have a drainage problem which needs to be corrected with a French drain or some other method that takes excess water down and away from the bottom of the root ball.

2. PLANTING
The hole shall be 2 wider than the box size and the same depth as the root ball. Leave the bottom top of box size and larger for stability and safety. Verify the top of the root ball is even or slightly higher than the surrounding soil.

3. SOIL PIPES
48" box and larger trees shall have four 4" perforated PVC pipes installed to allow for water to the bottom of the root ball. Fill 3 pipes with gravel for deep feeding and water. Use fourth pipe for checking the condition of the root ball (too much water or too dry). Cap all pipes approximately 4" above soil level.

4. WATERING BERM OR BASIN
Use left over soil mix to build a several-inch-high circular watering berm around the root ball. Make sure the berm or basin is no larger than the root ball; otherwise, watering or wet the soil around the tree, but not the rootball.

5. WATERING
It is very important to keep a newly planted tree watered during the first 12 to 18 months. Water as often as necessary to keep the root ball moist, but not saturated. This may mean watering every day in the summer. The amount of water required will depend on the weather, how hot or dry your area is and your soil type. Be especially careful to keep the trees watered during Santa Ana winds.

6. FERTILIZING
The tree should be fed in March, June and September with a slow release 20-5-5 fertilizer mixed half-and-half with bloodmeal.

ROOF DECK LEVEL: PLANT LEGEND

LEGEND	QTY	SIZE	ARRANGEMENT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	WUCOLS IV	NOTES
J	18	15 GAL	PER PLAN	PODOCARPUS ELONGATUS 'ICEE BLUE'	YELLOW WOOD	10'-15'	10'-15'	MED	
K	17	24" BOX	PER PLAN	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	15'-20'	15'-20'	LOW	LOW BRANCHING/MULTI
M	14	5 GAL	PER PLAN	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	3'-4'	3'-4'	LOW	
N	1200 SF	SOD	PER PLAN	KURAFIA	GROUND COVER SOD	6"	SOD	LOW	

WUCOLS IV NOTE:

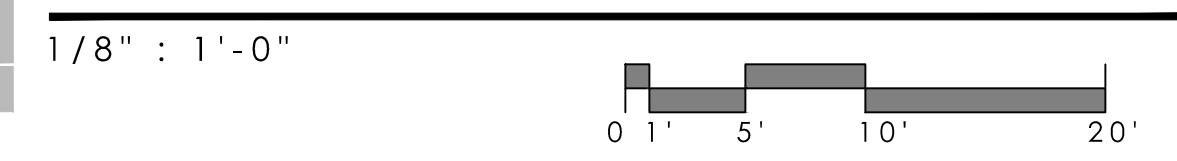
WATER REQUIREMENTS FOR ALL PLANTS LISTED HAVE BEEN CONFIRMED BY WUCOLS IV PLANT DATABASE PROVIDED BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (DWR) WATER USE EFFICIENCY PROGRAM.

PLANTING NOTES:

SOIL TO BE SAMPLED BY WALLACE LABS (310.615.0114)
CONTRACTOR TO AMEND PER WALLACE LAB RECOMMENDATION - 2" MIN.
LEAF POST MULCH ON SURFACE OF ALL P.A.
DURA EDGE AT ALL P.A. EDGES WWW.JDRUSSELCO.COM (800.888.7425)
AUTOMATIC IRRIGATION SHALL BE PROVIDED FOR ALL THE LANDSCAPED AREAS.

A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE IS CONTRAINDICATED.

PLANTING PLAN ROOF DECK LEVEL



L-2.2

PLANTING PLAN

NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF RAINVILLE DESIGN STUDIO. THEY ARE NOT TO BE REPRODUCED, COPIED, OR USED IN WHOLE OR IN PART BY ANY THIRD PARTY, WHATSOEVER, WITHOUT FIRST OBTAINING PERMISSION AND CONSENT IN WRITING FROM MIRIAM RAINVILLE

BIRCH

21809 - 21811 FIGUEROA STREET
CARSON CALIFORNIA 90745

rainville • design • studio
landscape design + planning

1632 aviation blvd
redondo beach
california 90278

ph 310.378.2650
miriam@rainvilledesign.com

REVISION
09.26.2017
11.02.2017
11.20.2017
11.21.2018

DATE : 11.21.2018
SCALE : AS SHOWN
DRAWN BY : AQ

246



VIEW FROM STREET



VIEW FROM ABOVE



LANEY LA

LIFESTYLE + ARCHITECTURE

PROJECT NAME

BIRCH

PROJECT NUMBER

17065

CLIENT
REAL QUEST HOLDING, LLC
MR. MICHAEL WANG C/O CHIH
WANG
3129 S HACIENDA BLVD. #649
HACIENDA HEIGHTS, CA 91745
(626) 271-5322

PROJECT ADDRESS
21809-21811 FIGUEROA STREET
CARSON, CA 90745

ARCHITECT
ANTHONY LANEY AIA
LANEY LA, INC.
13110 HAWTHORNE BLVD. UNIT A
HAWTHORNE CA 90250
(310) 498-2455
ANTHONY@LANEY.LA

NOT FOR CONSTRUCTION

MARK	DATE	DESCRIPTION
1	06/05/17	DEVELOPMENT APPLICATION SUBMISSION
2	08/16/17	1ST REVIEW RE-SUBMITTAL
3	11/30/17	100% DESIGN DEVELOPMENT

PROJECT NO: 17065
MODEL FILE:
DRAWN BY: DD
CHK'D BY: PC

SHEET TITLE

PERSPECTIVES

P-1

EXHIBIT MAP
TENTATIVE TRACT NO. 76070
IN THE CITY OF CARSON, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA

BEING A SUBDIVISION OF PORTION OF LOT 41 OF TRACT NO. 3612, IN THE CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 40 PAGES 5 AND 6 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FOR CONDOMINIUM PURPOSES
JULY 27, 2018

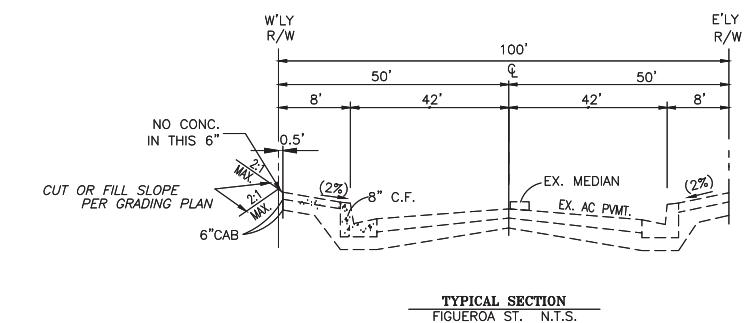
CONSTRUCTION NOTES:

- ① REMOVE EX. CURB, GUTTER AND SIDEWALK.
- ② CONST. 5" PCC PAVEMENT OVER 90% COMPACTED SOIL.
- ③ PROTECT IN PLACE.
- ④ INSTALL SUMP PUMP, PER BARNES PRODUCTS.
- ⑤ TO BE REMOVED.
- ⑥ CONST. 18"X4" PARKWAY DRAIN.
- ⑦ CONST. 4" PVC DRAINAGE PIPE, SCHEDULE 80, 0.5% (MIN.) SLOPE.
- ⑧ CONST. 6" PVC DRAINAGE PIPE, SCHEDULE 80, 0.5% (MIN.) SLOPE.
- ⑨ CONST. 18"X18" CATCH BASIN WITH TRAFFIC GRATE, DETAIL PER BROOKS PRODUCTS.
- ⑩ CONST. 8' HI CMU WALL WITH 0'~2.5' RETAINING WALL, PER SEPARATE PERMIT.
- ⑪ REMOVE EXIST. DRIVEWAY APPROACH.
- ⑫ CONST. 10' HI CMU WALL WITH 1.5'~2.5' RETAINING WALL, PER SEPARATE PERMIT.
- ⑬ RELOCATE EX. WATER METER, PER SEPARATE PERMIT.
- ⑭ CONST. FULL HIGH CURB & GUTTER TO MATCH EXIST.
- ⑮ CONST. 4" PCC SIDEWALK TO MATCH EXIST.
- ⑯ CONST. STORMWATER BIOFILTRATION SYSTEM (MWS-L-4-17-V), PER WETLANDS PROD.
- ⑰ CONST. NEW DRIVEWAY APPROACH PER SPPWC STD. 110-2 TYPE B.
- ⑱ CONST. WATER LATERALS, 6" FIRE, 4" DOMESTIC , 2" IRRIGATION.
- ⑲ CONST. 6" VCP SEWER LATERAL.
- ⑳ CONST. 6" CURB.
- ㉑ REPLACE EXIST. TREE WITH NEW STREET TREE (BRACHYCHITON POPULNEUS)

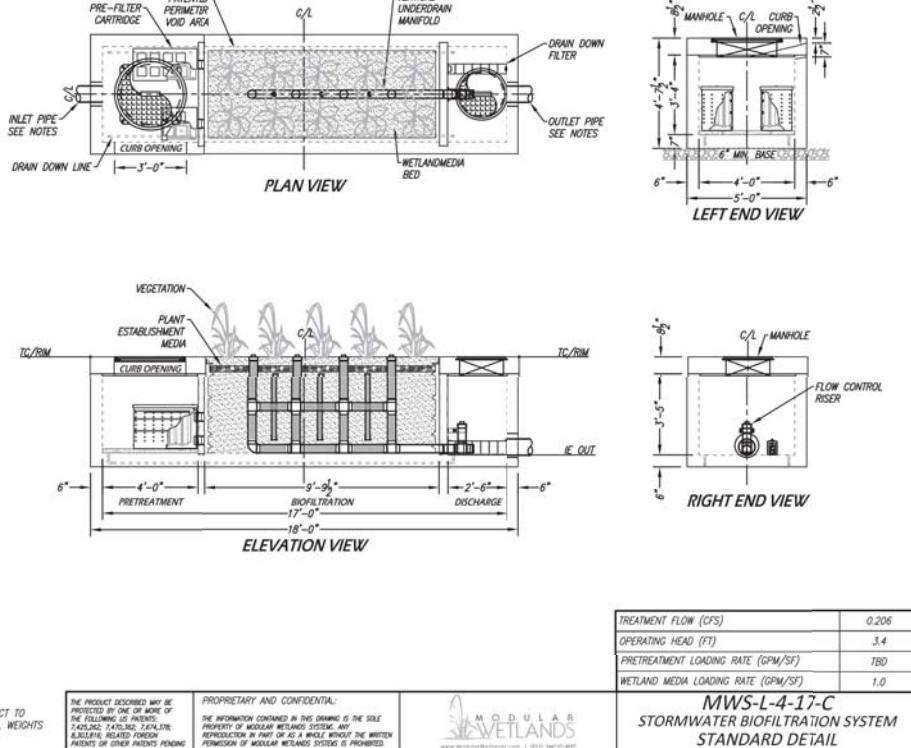
EARTHWORK
CUT: 0 CY
FILL: 1355 CY
IMPORT: 1355 CY
EXPORT: 0 CY
EXCAVATION: 1532 CY

PLANS PREPARED BY:
GUOXIN MIAO 8/6/2018
Date
Apple Engineering Group
Subdivision, Engineering Design & Survey
9080 TELSTAR AVENUE, SUITE 309
EL MONTE, CA 91713
Tel: (626) 552-9818 Email: info@appleengineering.net

BENCHMARK:	
B.M. NUMBER:	7Y10536
ELEV.	47,686
QUAD (YEAR)	2005
DESCRIPTION: L & SPK IN CB	
10.7M(35') N/O BCR @	
NW COR NORMANDIE	
AVE & CARSON ST	



SITE SPECIFIC DATA			
PROJECT NAME	TR76070		
PROJECT LOCATION	21809-21811 FIGUEROA ST.		
STRUCTURE ID			
TREATMENT REQUIRED			
VOLUME BASED (CF)	FLOW BASED (CFS)		
	0.188		
TREATMENT HGL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	LE	MATERIAL	DIAMETER
INLET PIPE 1	42.02 INV	PVC	4"
INLET PIPE 2	41.81 INV	PVC	4"
OUTLET PIPE	38.58 INV	PVC	4"
PRETREATMENT		BIOFILTRATION	DISCHARGE
RIM ELEVATION	43.25 TC		
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	#30"	N/A	#24"
WETLANDMEDIA VOLUME (CF)	5.41		
WETLANDMEDIA DELIVERY METHOD	TBD		
ORIFICE SIZE (DIA. INCHES)	#2.05"		
MAXIMUM PICK WEIGHT (LBS)	36000		
NOTES:			



WATER FLOW (GFS)	0.206
WATER HEAD (FT)	3.4
WATERLOADING RATE (GPM/SF)	TBD
WATERMEDIALOADING RATE (GPM/SF)	1.0

CITY OF CARSON

ENGINEERING SERVICES DIVISION

ENGINEERING SERVICES DIVISION

**EXHIBIT MAP
FOR
TR 76070**

NO. 7052	SHEET 2 OF 4	PLAN NO.
--------------------	--------------	----------

EXHIBIT MAP

TENTATIVE TRACT NO. 76070
IN THE CITY OF CARSON, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA

REVIEWED BY:

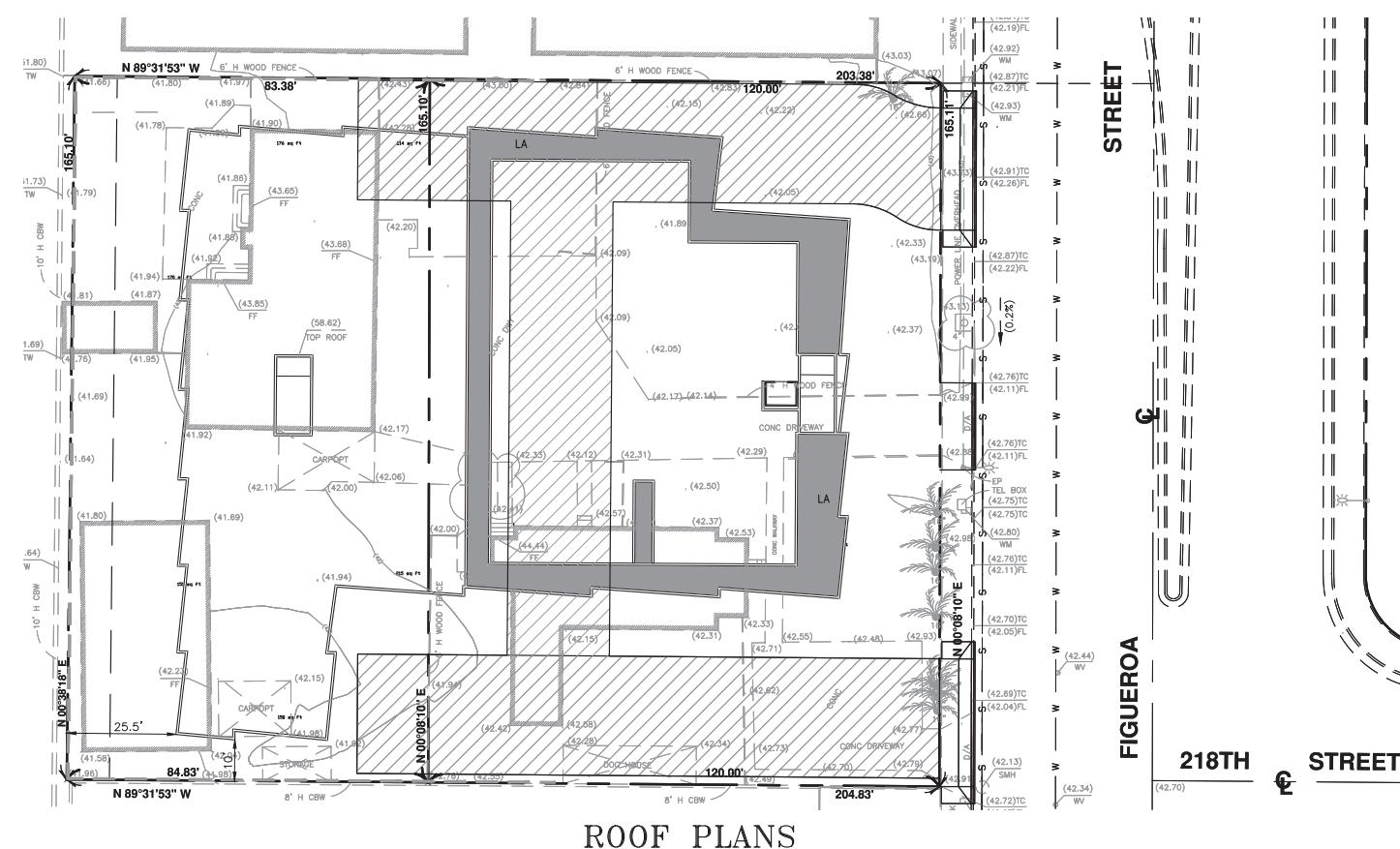
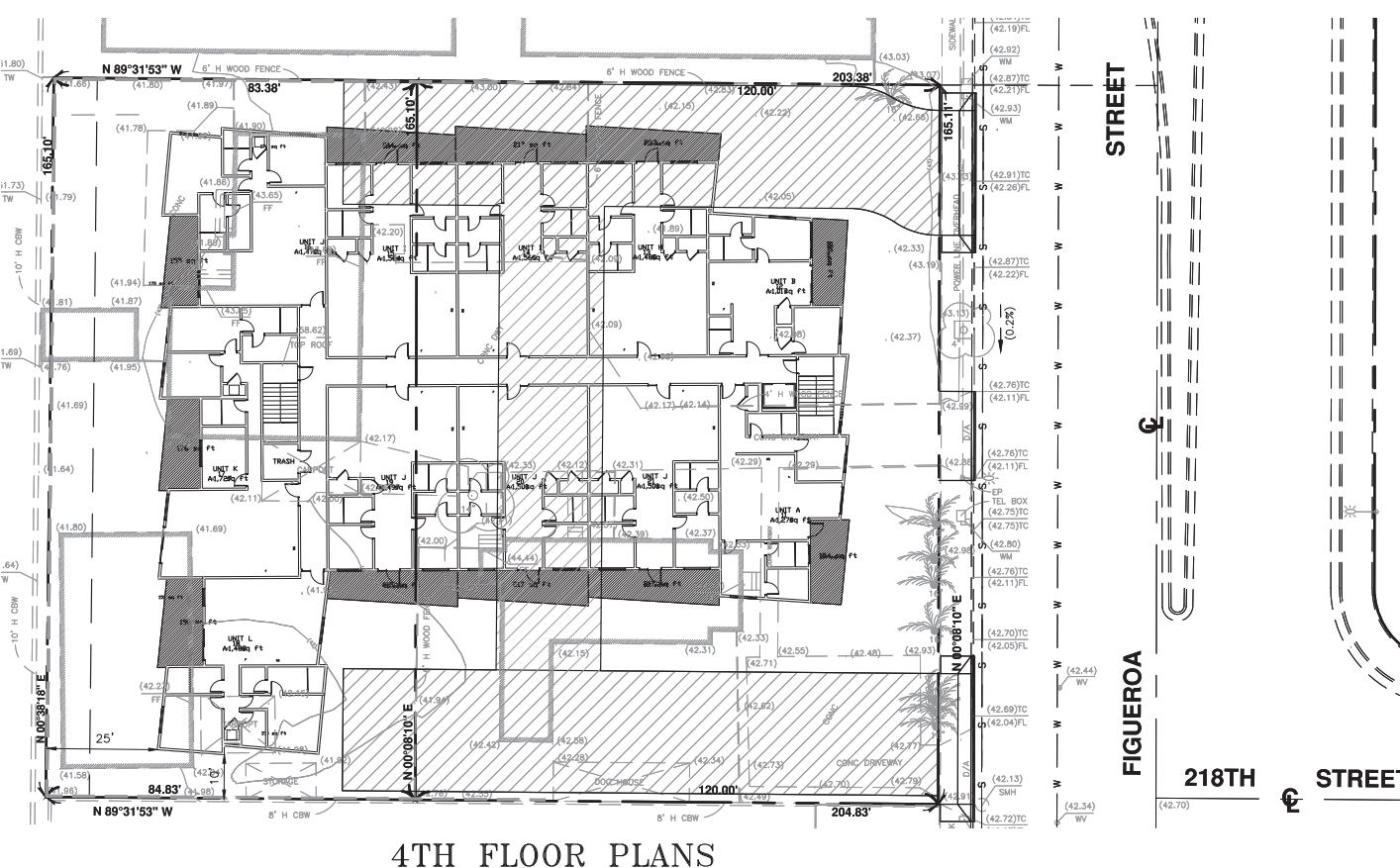
	RECOMMENDED BY:	
DATE	RAYMOND VELASCO, PE - SENIOR CIVIL ENGINEER	DATE

MOVED BY: _____

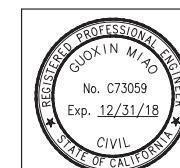
A graphic scale diagram consisting of a vertical line with a hook at the top, a horizontal line at the bottom, and a scale from 20' to 0 to 20'.

BEING A SUBDIVISION OF PORTION OF LOT 41 OF TRACT NO. 3612, IN THE CITY OF CARSON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 40 PAGES 5 AND 6 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FOR CONDOMINIUM PURPOSES
JULY 27, 2018



ansleserver\Company\Apple\Engineering\P-Projects\2017\F17052-21809-21811 Fieuoroa St., Carson 2, Desian 2/20, Tentative Map\Gen04\21809-21811 TM—Mike-dwa



PLANS PREPARED

GUOXIN MIAO 8/6/2018
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EL MONTE, CA 91731
Tel: (626) 552-0818 FAX: info@appleengineering.com

PLANS PREPARED BY:
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Apple Engineering Group
Subdivision: Engineering Design & Survey
9098 TELSTAR AVENUE, SUITE 309
EL MONTE, CA 91733
Tel: (828) 552-9818, EMAIL: info@appleengineering.net

BENCHMARK:
B.M. NUMBER: 7Y10536
ELEV. 47.686
QUAD (YEAR) 2005

DESCRIPTION: L & SPK IN CB
10.7M(35') N/O BCR
NW COR NORMANDIE
AVF & CARSON ST.

CITY OF CARSON

ENGINEERING SERVICES DIVISION

ENGINEERING SERVICES DIVISION

**EXHIBIT MAP
FOR
309 FIGUEROA ST.**

PROJECT NO. **P17052** SHEET 4 OF 4 PLAN NO.