



CITY OF CARSON

PLANNING COMMISSION STAFF REPORT

PUBLIC HEARING: September 27, 2022

SUBJECT: Mitigated Negative Declaration/MMRP
 General Plan Amendment (GPA) No. 109-20
 Zone Change (ZCC) No. 184-21
 Specific Plan (SP) No. 23-20
 Site Plan Design Overlay Review (DOR) No. 1832-20

APPLICANT: Sagecrest Planning + Environmental
 c/o David Blumenthal, AICP
 2400 E. Katella Avenue, Suite 800
 Anaheim, CA 92806

PROPERTY OWNER: Kim Family Trust
 P.O. Box 24
 Palos Verdes Estates, CA 90214

REQUEST: Consider approval of a proposed 19-unit multiple-family residential development on two vacant parcels.

PROPERTY INVOLVED: 21240-21250 Main Street (APNs 7334-002-007 & 008)

COMMISSION ACTION

AYE	NO		AYE	NO	
		Chairperson (Vacant)			Hernandez
		Vice-Chair Palmer			Huff
		Diaz			Monteclaro
		Docdocil			Rashad
		Guerra			D. Thomas
					Alt. (Vacant) Alt. Mfume Alt. Wilson

I. Introduction

Property Owner
Kim Family Trust
P.O. Box 24
Palos Verdes Estates, CA 90214

Applicant
Sagecrest Planning + Environmental
c/o David Blumenthal, AICP
2400 E. Katella Avenue, No. 800
Anaheim, CA 92806

II. Project Description

The proposed project is a 19-unit, multiple-family residential development consisting of two separate 3-story-high buildings on two vacant parcels totaling 0.52 acres. 21250 Main Street (Lot A) will be developed with a 12,331 square foot 11 unit building with 24 at grade parking spaces. 21240 Main Street (Lot B) will be developed with a 10,152 square foot 8 unit building with 18 at grade parking spaces.

For the proposed project to be approved in compliance with the City's Municipal Code, the applicant requests approval of the following entitlement requests:

- General Plan Amendment (GPA) No. 109-20 (changing General Plan Land Use Designation from General Commercial to Urban Residential)
- Zone Change (ZCC) No. 184-21 (changing zoning from Commercial General with a Design Overlay (CG-D) to Carson Lofts Specific Plan (CLSP))
- Specific Plan (SP) No. 23-20 (adopting Carson Lofts Specific Plan)
- Site Plan and Design Review (DOR) No. 1832-20

III. Project Site and Surrounding Land Uses

The subject property is in the CG-D (Commercial General – Design Review) Zone and is designated General Commercial under the Land Use Element of the General Plan. The subject project site is located on the northeast corner of 213th Street and Main Street at 21240-21250 Main Street. See Figure A, showing the Project Site and Regional Location.

Land uses surrounding the proposed project site are primarily residential uses to the south, west and east, and commercial to the north.



Figure (A) Project Site in context to surrounding area.

The following provides a summary of the site information:

Site Information	
General Plan Land Use Designation	General Commercial
Zone District	Commercial General, Design Overlay (CG-D)
Site Size	0.52 acres
Present Use and Development	Vacant Land
Surrounding Uses/ Zoning	North: Commercial General South: Single-Family Residential; RS East: Single-Family Residential; RS West: Single-Family Residential; RS
Access	Ingress/Egress: 213 th Street and Main Street

IV. Analysis

Site History

City records indicate the following chronology of uses. All improvements were demolished in 1987 and the site has remained vacant since.

- 1947 – Gas Station
- 1952 – Real Estate Office
- 1956 – Grocery Store
- 1960 – Beer Bar
- 1965 – Church

Site Plan

The subject property measures approximately 0.52-acres. The proposed residential development includes two separate 3-story-high buildings measuring 12,331 square feet (Lot A) with 24 at grade parking spaces and 10,152 square feet (Lot B) with 18 at grade parking spaces. Both will include recreational open space as required by the proposed specific plan.

The buildings will provide a five-foot setback from 213th Street, a five-foot setback from Main Street, a ten-foot setback from the eastern property line, and a ten-foot setback from the northern property line. There is a 23-foot separation between the two buildings. Each building has a maximum height of 39 feet. A six-foot tall decorative block wall is proposed along the eastern property line. In addition, a hedge of *Laurus nobilis* (Sweet Bay) will be provided along the eastern property line. The Sweet Bay can reach a mature height between 12' and 15' which will allow additional screening between the project and the adjoining residences to the east of the subject property.

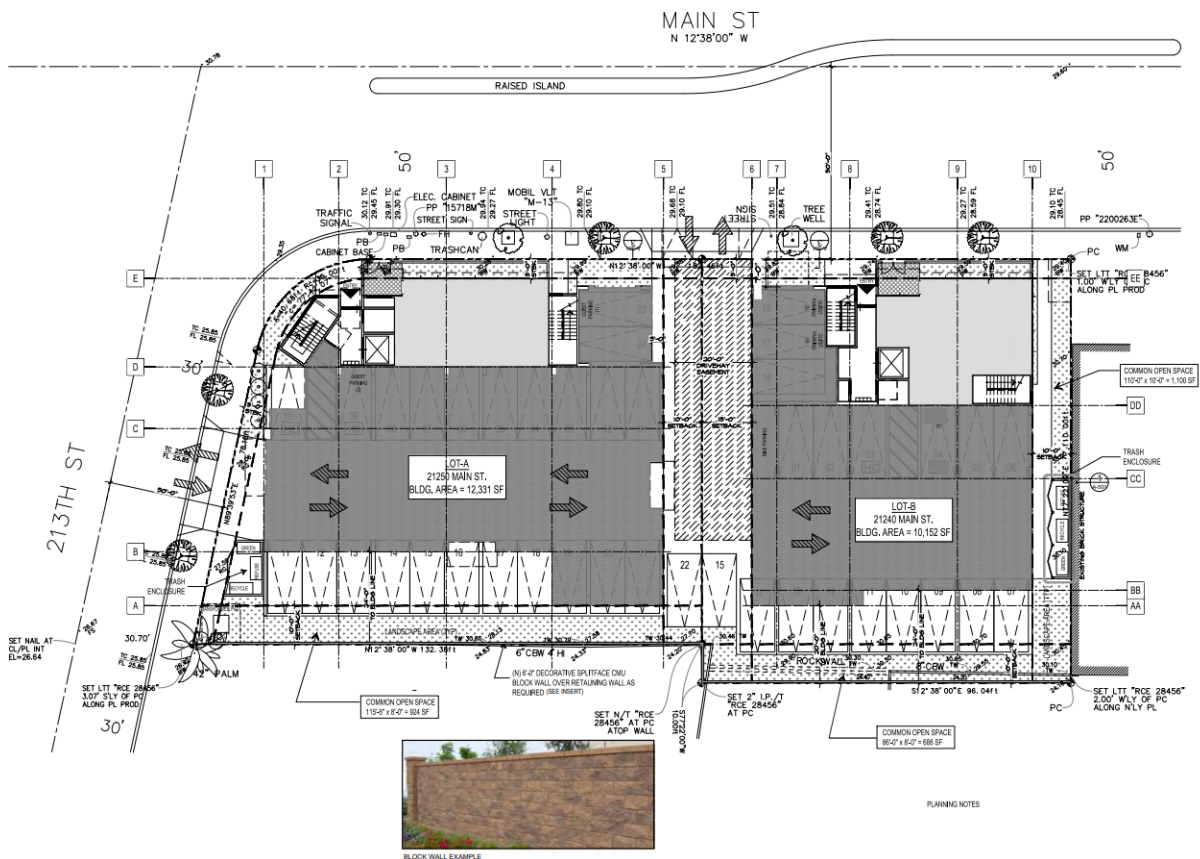


Figure (B) Site Plan

Access

The proposed development will have pedestrian and vehicular access from 213th Street and Main Street. Recordation of a reciprocal easement agreement is a condition of approval to ensure reciprocal access between the parcels in perpetuity.

Parking & Traffic

A traffic study conducted as part of the CEQA Initial Study/Mitigated Negative Declaration (IS/MND) estimates that the project will generate 103 daily trips, seven (7) AM peak hour trips and eight (8) PM peak hour trips. This did not rise to the level of significance for transportation impacts and thus did not result in any proposed mitigation measures.

The proposed Specific Plan will require 2 at grade covered parking spaces per unit, plus 1 guest space for every 5 units.

21250 Main Street (Lot A) will be developed with 11 units and 24 parking spaces: 22 spaces for the residential (2/unit) and 2 guest parking spaces.

21240 Main Street (Lot B) will be developed with 8 units and 18 parking spaces: 16 spaces for the residential (2/unit) and 2 guest parking spaces.

The proposal includes 38 parking spaces, two will be ADA accessible parking spaces. The proposal also includes 4 guest parking spaces, one will be an ADA accessible parking space.

Prior to obtaining building permits, reciprocal parking easements will be recorded to both properties ensuring that all 42 parking spaces are available to both parcels in perpetuity.

Bicycle parking will be provided on Lot B and available to both buildings.

Both the City's Traffic Engineer and the Los Angeles County Fire Department have reviewed and cleared the project prior to tonight's public hearing.

Buildings and Architecture

As shown in Figure C - *Conceptual Rendering*, the project is designed in a modern architectural style combining multiple roof elevations, smooth stucco and varying types of fiber cement composite panels. A belly band has been added to the façade between the first and second floors, thus allowing for color variation and to provide vertical articulation in the façade. The building is capped with an anodized aluminum coping. Reveals extend from the transoms and stiles of the windows to provide shadowing. To add additional visual interest at the corner of Main Street and 213th Street, porcelain tiles have been included above the entry lobby for Building A.



SOUTHWEST RENDERING



NORTHWEST RENDERING

Figure (C) Conceptual Rendering



Figure (D) Proposed Elevations

Fence

A six-foot-high, decorative split-face block wall, with flat precision cap is proposed along the eastern property line. The wall will include 6 feet 6-inch-high split-face block pilasters, with 18-inch square precast cap.

Open Space

6,164 square feet of open space will be provided, which equates to 27% of the gross lot area. Open space will be provided through private (balconies), useable (courtyards), and common (pathways and setbacks). The useable open space is located on the second floor of each building.

Signage

One sign which identifies the project, "Carson Lofts", shall be permitted per street frontage. Each sign shall be non-illuminated or reverse channel letters, wall mounted, and shall not exceed twenty-four (24) square feet. One address sign (street number only) shall also be allowed per building.

Landscaping

The Project proposes approximately 3,164 square feet of landscaping around the perimeter of the Project Site. A variety of drought tolerant ornamental shrubs and medium size trees, which would be varying in height, would be included as a part of the proposed landscaping. Landscaping and plantings to be provided along the site's eastern edge will offer a verdant privacy screen for adjacent residential uses. The irrigation system would be designed and constructed to meet and/or exceed Model Water Efficient Landscape Ordinances (MWELO).

V. Specific Plan, Zoning and General Plan Consistency

The proposed project is not consistent with the standards of the current Commercial General, Design Overlay (CG-D) zoning nor is it consistent with the current General Commercial, General Plan land use designation. The applicant proposes GPA No. 109-20 to change the General Plan land use designation to Urban Residential, which allows for residential densities up to 65 dwelling units per acre, to ensure consistency with the proposed Carson Lofts Specific Plan (SP No. 29-22), which would allow for a residential density of up to 40 units per acre within the specific plan area (the project area). According to the General Plan, the Urban Residential category would be implemented with a Specific Plan zone. The proposed project has a residential density of 36.5 units per acre (19 units/0.52 acres = 36.5), consistent with the maximum density allowable under the proposed Specific Plan.

A Specific Plan is a planning tool included in state law that allows cities to adopt different development standards than those in a specific zone. The proposed project proposes different development standards than those included in the existing CG-D zone, therefore, the applicant proposes the Carson Lofts Specific Plan (CLSP).

The project also proposes ZCC No. 184-21 to change the zoning to Carson Lofts Specific Plan (ZCC 184-21 and SP No. 29-22).

If these entitlements are approved, the proposed project will be consistent with the amended General Plan land use designation and the zoning designation, development standards, and allowable uses identified in the Specific Plan. The proposed project furthers General Plan Land Use Element goals including LU-6 (A sustainable balance of residential and non-residential development and a balance of traffic circulation throughout the City), LU-7 (Adjacent land uses that are compatible with one another), LU-9 (Eliminate

all evidence of property deterioration throughout Carson), LU-12 (Create a visually attractive appearance throughout Carson), and LU-15 Promote development in Carson which reflects the “Livable Communities” concepts.

VI. CFD/DIF Discussion

The proposed development is required to mitigate its impacts on city services. City adopted Community Facilities District (CFD No. 2018-01) and may adopt a similar community facilities district in the future to use instead of CFD No. 2018-01 (collectively referred to herein as the “CFD”) to fund the ongoing costs of law enforcement, street and sidewalk maintenance, landscape maintenance, street sweeping and sidewalk cleaning, and other eligible impacts of the Project within the CFD (the CFD Services). A uniformed-standardized rate was adopted pursuant to Resolution No. 19-009 (“Resolution”) and accompanying Fiscal Impact Analysis (“FIA”) report.

The applicant, property owner, and/or successor to whom these project entitlements are assigned (“Developer”) shall be responsible to establish a funding mechanism to provide an ongoing source of funds for the ongoing services comparable to the uniformed-standardized rate established in the Resolution and FIA report. Based on the adopted Resolution, the subject property falls under “Residential – All Others” rate at \$1,076.94 per unit per year through June 30, 2023. Based on a 19-unit development, the current estimated annual amount for ongoing services is \$20,461.86, subject to annual adjustments.

Interim Development Impact Fee

The applicant shall be responsible for payment of a one-time development impact fee at the applicable rate, currently \$18,485.56 per unit for Fiscal Year 2022-23, effective July 1, 2022, through June 30, 2023.

If paid during Fiscal Year 2022-23, the proposed development would be responsible for development impact fees of \$351,225.64 (19 new units X \$18,485.56 = \$351,225.64). If the Project increases or decreases in size, the IDIF Amount will be adjusted accordingly at the same rate.

VII. Environmental Review and CEQA Finding

Planning Staff, working with the City’s Environmental Consultant, has reviewed the potential environmental impacts of the proposed project pursuant to the California Environmental Quality Act (CEQA). Following an initial study, a Draft Mitigated Negative Declaration (State Clearinghouse #202260615) was prepared and made available for a public review period from June 27, 2022, through July 27, 2022. No public comments were received, including none suggesting that an Environmental Impact Report (EIR) should be prepared. A Notice of Intent to adopt a Mitigated Negative Declaration was prepared and issued in compliance with CEQA. A final Mitigated Negative Declaration and a Mitigation Monitoring and Reporting Program have now been prepared for the Commission’s review. The Mitigated Negative Declaration, which reflects the independent judgment of the City as lead agency, found potentially significant impacts to air quality, cultural resources, geology and soils, hazards and hazardous materials, noise, and tribal cultural resources. With the inclusion of the proposed mitigation measures, which are included as project conditions of approval, all potential environmental impacts are mitigated to the maximum extent feasible and below a level of significance.

VIII. Public Outreach

On August 27, 2021, the applicant sent mailers to sixteen (16) residences surrounding the project site. The mailer provided an overview of the proposed project and noted that the applicant and his team would be visiting each of them in person on Saturday, September 11, 2021 between 10:00 a.m. and 12:00 p.m. Outreach to 16 residences was designed to introduce the applicant's team to the neighbors, discuss the project, and learn about any community concerns.

The outreach effort resulted in the applicant:

- Meeting with and presenting the project to eight (8) neighbors.
- Missing in person contact but left behind information packets for six (6) neighbors.
- Missing in person contact due to "No Trespassing" sign with two (2) neighbors.

The residents' primary concerns related to affordable housing detracting from the neighborhood, overcrowding, reduced property values, privacy, parking, traffic and access. Positive comments related to removing a blighted, vacant lot with much needed housing with an architectural design that improves the high visibility corner.

On August 25, 2022, the applicant held a virtual Zoom community meeting with one attendee, who is the property owner for 117 E 213th Street. The one attendee noted that he liked the project and supported developing the vacant lot. He also noted the proposed architectural style would be a welcome addition to the area. He was concerned, however, if affordable housing would be included in the project. Since only market rate apartments (no deed restricted affordable housing units) are proposed, his concern was alleviated.

IX. Public Notice

Notice of public hearing was posted to project site on September 15, 2022. The public hearing notice was posted in the newspaper and mailed to property owners and occupants within a 750' radius by September 15, 2022. The agenda was posted at City Hall 72 hours prior to the Planning Commission meeting.

X. Recommendation

That the Planning Commission:

- **ADOPT** Resolution No. 22-___, entitled "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARSON APPROVING SITE PLAN AND DESIGN REVIEW NO. 1832-20 AND RECOMMENDING THAT THE CITY COUNCIL ADOPT A MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING AND REPORTING PROGRAM AND APPROVE GENERAL PLAN AMENDMENT NO. 109-20, ZONE CHANGE NO. 184-21, AND SPECIFIC PLAN NO. 23-20 FOR A 19-UNIT MULTIPLE-FAMILY RESIDENTIAL DEVELOPMENT AT 21240-21250 MAIN STREET, APNS 7334-002-007 & 008."

XI. Exhibits

1. Draft Resolution
 - A. *Legal Description*
 - B. *Conditions of Approval*
2. Development Plans

3. Specific Plan
4. Mitigation Monitoring and Reporting Program
5. Final Initial Study/Mitigated Negative Declaration

Prepared by: McKina Alexander, Associate Planner



TUESDAY, SEPTEMBER 27, 2022
701 East Carson Street, Carson, CA 90745
6:30 p.m., Via Zoom

**MINUTES
OF THE
PLANNING COMMISSION**

Members: Vice Chair: Chris Palmer Louie Diaz Frederick Docdocil
Carlos Guerra Del Huff Jaime Monteclaro
Dianne Thomas Karimu Rashad Richard Hernandez
Alternates: (VACANT) DeQuita Mfume Leticia Wilson
Staff: Planning Manager: Betancourt
Planning Secretary: (VACANT)
Assistant City Attorney: Jones

“In accordance with the Americans with Disabilities Act of 1990, if you require a disability related modification or accommodation to attend or participate in this meeting, including auxiliary aids or services, please call the Planning Department at 310-952-1761 at least 48 hours prior to the meeting.” (Government Code Section 54954.2)

1. CALL TO ORDER

Vice Chair Palmer called the meeting to order at 6:36 p.m.

2. ROLL CALL

Commissioner Present: Palmer, Diaz, Docdocil, Guerra, Hernandez, Huff, Thomas, Wilson

Absent: Monteclaro (A), Rashad (A), Mfume (EA)

Planning Staff: Naaseh, Betancourt, Alexander, Jones, Gonzalez, Rubio

3. ORAL COMMUNICATION FOR NON-PUBLIC HEARING ITEMS ON THE AGENDA

The public may at this time address the members of the Planning Commission on any non-public hearing items on the agenda. Separate public comment periods will be provided for public hearing items during the respective hearings. Speakers are requested to limit their comments to no more than three minutes each, speaking once. *(see below)

None.

4. ORAL COMMUNICATION FOR MATTERS NOT ON THE AGENDA

The public may at this time address the members of the Planning Commission on any non-agendized items within the jurisdiction of the Planning Commission. No action may be taken on non-agendized items except as authorized by law. Speakers are requested to limit their comments to no more than three minutes each, speaking once. *(see below)

None.

DUE TO CORONA VIRUS COVID-19, NO MEMBERS OF THE PUBLIC WILL BE ALLOWED INTO CITY HALL DURING THE PLANNING COMMISSION MEETING. THE MEETING WILL BE CONDUCTED VIA REMOTE TELECONFERENCING USING THE ELECTRONIC “ZOOM” APPLICATION. TO FACILITATE PUBLIC PARTICIPATION, HOWEVER, ACCESS

TO THIS MEETING WILL BE AVAILABLE TELEPHONICALLY USING FOLLOWING CALL-IN INFORMATION:

Join Zoom Meeting:

Meeting ID: 845 2525 5858

Passcode: 516138

Dial by your location: +1 669 900 6833 US

Any members of the public wishing to provide public comment for this meeting may do so as follows:

1. Live via Zoom Application. Members of the public wishing to provide public comment in real-time may join the Zoom meeting remotely via telephone to provide their public comment live during the applicable public comment period with their audio presented to the Planning Commission. Members of the public wishing to do so are requested to email planning@carsonca.gov in advance, providing their real name and the phone number they will use to call in from. For further details or questions, please email planning@carsonca.gov.

2. Email: You can email comments to planning@carsonca.gov before the meeting. Please identify the Agenda item you wish to address in your comments. Your comments will be read into the record. The cut-off time to receive any email communications is 3:00 p.m. on the day of the meeting. If you missed the deadline, you may call to make a public comment during the meeting.

3. Telephone: You can record your comments at (310) 952-1761 before the meeting. Please identify the Agenda item you wish to address in your comments. Your comments will be read into the record. The cut-off time to receive any email communications is 3:00 p.m. on the day of the meeting. If you missed the deadline, you may call to make a public comment during the meeting.

4. Box outside of City Hall: You can provide hand-written comments by dropping off a note at the box located in front of City Hall (701 East Carson Street) on the date of the meeting before the meeting starts. Please identify the Agenda item you wish to address in your comments. Your comments will be read into the record. The cut-off time to receive any email communications is 3:00 p.m. on the day of the meeting. If you missed the deadline, you may call to make a public comment during the meeting.

NOTE: Members of the public wishing to observe the meeting live without providing public comment will be able to do so by watching it on the City's PEG television channel (Channel 35 on Charter or Channel 99 on AT&T for Carson residents) or via live streaming on the City's website, <http://ci.carson.ca.us/>.

5. CONSENT CALENDAR

A. Minutes Approval: August 30, 2022

Commissioner Diaz (1st) Motion to approve, Commissioner Guerra (2nd); Motion passed with 7-1 (Huff Abstained).

Commissioner Thomas ask the applicant if there are any plans to consolidate both hotels and asked about trucks parking in the back

Applicant Steve Rigor, Arris Studio Architects – responded that there’s no plans to change the façade of the hotel at this time. Mr. Rigor and Owner Patel no plans to make room for truck parking at this time. The back alley that they are now using won’t be there.

Commissioner Diaz (1st) motion, Commissioner Thomas (2nd), Motion passed with 8-0. Approved staff’s recommendation with changes to Condition of Approval to #5, 14, 15 per Assistant Attorney Jones. Applicant approved amended changes.

C. General Plan Amendment (GPA) No. 109-20, Zone Change (ZCC) No. 184-21, Specific Plan (SP) No. 23-20, Site Plan Design Review Overlay (DOR) No. 1832-20

Applicant: David Blumenthal, AICP
Sagecrest Planning + Environmental
2400 E. Katella Avenue, Suite 800
Anaheim, CA 92806

Property Owner: Kim Family Trust
P.O. Box 44
Palos Verdes Estates, CA 90274

Request: Consider approval of a proposed 19-unit multiple-family residential development on two vacant parcels.

Property Involved: 21240-21250 Main Street

Associate Planner Alexander had a PowerPoint presentation.

Commissioner Guerra when I read the staff report there was a former gas station, does it require any remediation? Is there any timeline.

Jason Reynolds – A phase 2 environment assessment is required, it is one of the Conditions of Approval. Environmental assessment is completed prior to construction activities.

Applicant: David Blumenthal, AICP, Sagecrest Planning + Environmental, agree with everything on Conditions of Approval except number 72, this item may not make this project feasible.

Jeremy Davis – No comment was made.

Commissioner Diaz - would like to hear from the Engineer for underground utilities.

Engineer Kenneth Young – underground utilities are a standard condition and a cost estimate is \$100k to 150k. If it’s not feasible we do a trust account to add money into an escrow account and when it gets to an amount the City will do the undergrounding of utilities.

Vice Chair Palmer re-opened the Public Hearing for Commissioner Thomas to ask another question and Public to speak.

Commissioner Thomas asked if condition #72 remains will the project be feasible.

Applicant David Blumenthal will not be committing if they are completing the project or not if this condition.

Carson Resident Luisa Chalco opposed to this item. New construction will be above the residential house, she only received notice for this meeting and did not get any other information on this item, this is a very busy corner, there's no parking around this area and there's heavy traffic from 6:00 to 8:00 a.m. it's almost impossible to go through. You are not improving you are damaging the community.

Division Secretary Gonzalez – for the record, I did not receive any emails or letters for this item.

Commissioner Hernandez - I have seen underground utilities improve the community. If there's an accident, it doesn't interrupt anybody else.

Commissioner Guerra – in addition to what Commissioner Hernandez said, esthetical pleasing is not only important but traffic collisions hitting the poles causing additional hazards and inconvenience. Hopefully the applicant owner changes his mind and this will help his project.

Commissioner Diaz (1st) motion, Commissioner Hernandez (2nd), Motion passed with 8-0 Approved Staff's recommendation of proposed 19-unit multiple-family residential development on two vacant parcels without removal of Conditions of Approval #72.

D. Site Plan Design Review Overlay (DOR) No. 1891-22

Applicant: Link Logistics
3333 Michelson Drive, Suite 725
Irvine, CA 92612

Property Owner: B8 Alondra Industrial Owner LLC
233 South Wacker Drive, Suite 3400
Chicago, IL 60606

Request: Consider approval of two new tilt-up warehouse building totaling 288,821 square-feet with 52 dock doors, 210 parking spaces and 39 trailer parking spaces.

Property Involved: 100 W. Alondra Boulevard

Betancourt asked that this item be taken out of order since the applicant requested a continuance. Palmer asked for this item to be taken out of order. Diaz moved to take this Item out of order, 2nd by Commissioner Huff. A consensus vote was done. Vote 8-0

CARSON LOFTS

21240-21250 SOUTH MAIN STREET, CARSON CA 90745



2173 LOMITA BLVD. #201
LOMITA CALIFORNIA 90717

Architect:
ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA CALIFORNIA 90717
PHONE: 424-263-5888
email: artashai@gmail.com

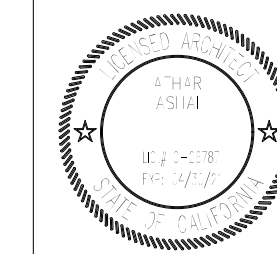
Copyright:
This drawing is the property of DESIGNER, and it is not to be reproduced or copied in whole or part. It is not to be used for any other project and is to be returned upon request. The DESIGNER retains all copyrights for this document.

Owner:
NANCY KIM

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:
Project Title :
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION :
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title :
TITLE SHEET

Scale : AS NOTED
Job Number : J-1908

Date : Aug2021
Sheet Number : **T-001**

Drawn: arkhous
Checked: CTV/RRJ

CONSULTANTS

OWNER: NANCY KIM	ARCHITECT: NOLO DESIGN STUDIO 2173 LOMITA BLVD., SUITE # 201 LOMITA, CA 90717 PHONE: (310) 464-4044 E-MAIL: artashai@gmail.com
OWNER REPRESENTATIVES: -	STRUCTURAL ENGINEER: -
SURVEY: BRUCE BORNEMANN 1814 W 247TH ST. LOMITA, CA 90717 PHONE: (310) 467-2333	MECHANICAL & PLUMBING ENGINEER: -
GEOTECHNICAL CONSULTANT: -	ELECTRICAL ENGINEER: -
LANDSCAPE: -	CIVIL ENGINEER: -

PROJECT SUMMARY

- ADDRESS: LOT A - 21250 SOUTH MAIN STREET, CARSON CA 90745
LOT B - 21240 SOUTH MAIN STREET, CARSON CA 90745
- CROSS STREET: MAIN STREET CORNER OF 213TH STREET
- APN, BLOCK & LOT: #7334-002-007 - (21240 MAIN STREET)
#7334-002-008 - (21250 MAIN STREET)
- ZONING: CG-D (CHANGE TO NEW SPECIFIC PLAN)
- PROJECT DESCRIPTION: 2 NEW 3-STORY BUILDINGS W/ PARKING AT GRADE: (30 FT. HIGH)
LOT A (21250 MAIN STREET) - 11 UNIT APARTMENT BLDG
LOT B (21240 MAIN STREET) - 8 UNIT APARTMENT BLDG
- CODES USED: 2019 CALIFORNIA BUILDING CODE
- 2020 COUNTY OF LOS ANGELES BUILDING CODE ALONG WITH ALL AMENDMENTS
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE - TITLE 24
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2020 COUNTY OF LOS ANGELES FIRE CODE
- EXISTING SITE CONDITIONS: VACANT LOT
- LOT AREA: LOT A = 12,033 SF (21250 MAIN STREET)
LOT B = 10,564 SF (21240 MAIN STREET)
TOTAL LOT AREA = 22,597 SF = 0.52 ACRE
- DENSITY: MAX. DENSITY DENSITY ALLOWED DENSITY PROVIDED
LOT A = 40 per Acre ; 11 UNITS 11 UNITS
LOT B = 40 per Acre ; 9 UNITS 8 UNITS
- OCCUPANCY: R2
- CONSTRUCTION TYPE: TYPE - VA
- SETBACKS: *SEE SITE PLAN
- NO. OF STORIES: 3
- BUILDING AREA: LOT A: 21250 MAIN STREET = 12,331
LOT B: 21240 MAIN STREET = 10,152
- LOT COVERAGE: LOT A: 21250 MAIN STREET = 7,049 SF (58.6 %)
LOT B: 21240 MAIN STREET = 5,888 SF (55.7 %)
- VEHICLE PARKING: 42 COVERED (NOT ENCLOSED) PARKING AREAS
- CA GREEN REQOTS: A) All plumbing fixtures shall comply with the requirements of the 2016 CGBSC SEC. 4.303
B) Plumbing fixtures @ fittings shall be installed in accordance with the applicable standards listed in the 2016 CPC, TABLE 1401.1
C) Irrigation controllers shall be weather based to adjust automatically

DEFERRED SUBMITTALS

- AUTOMATIC FIRE SPRINKLER PLANS.

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE - 2020 COUNTY OF LOS ANGELES BUILDING CODES ALONG WITH ALL AMENDMENTS
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ENERGY CODE - TITLE 24
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2020 COUNTY OF LOS ANGELES FIRE CODE

SCOPE OF WORK

- 2 NEW 3-STORY APARTMENT BUILDING WITH PARKING AT GRADE.
*** SEE T-002 FOR PROJECT DATA ***

NOTE

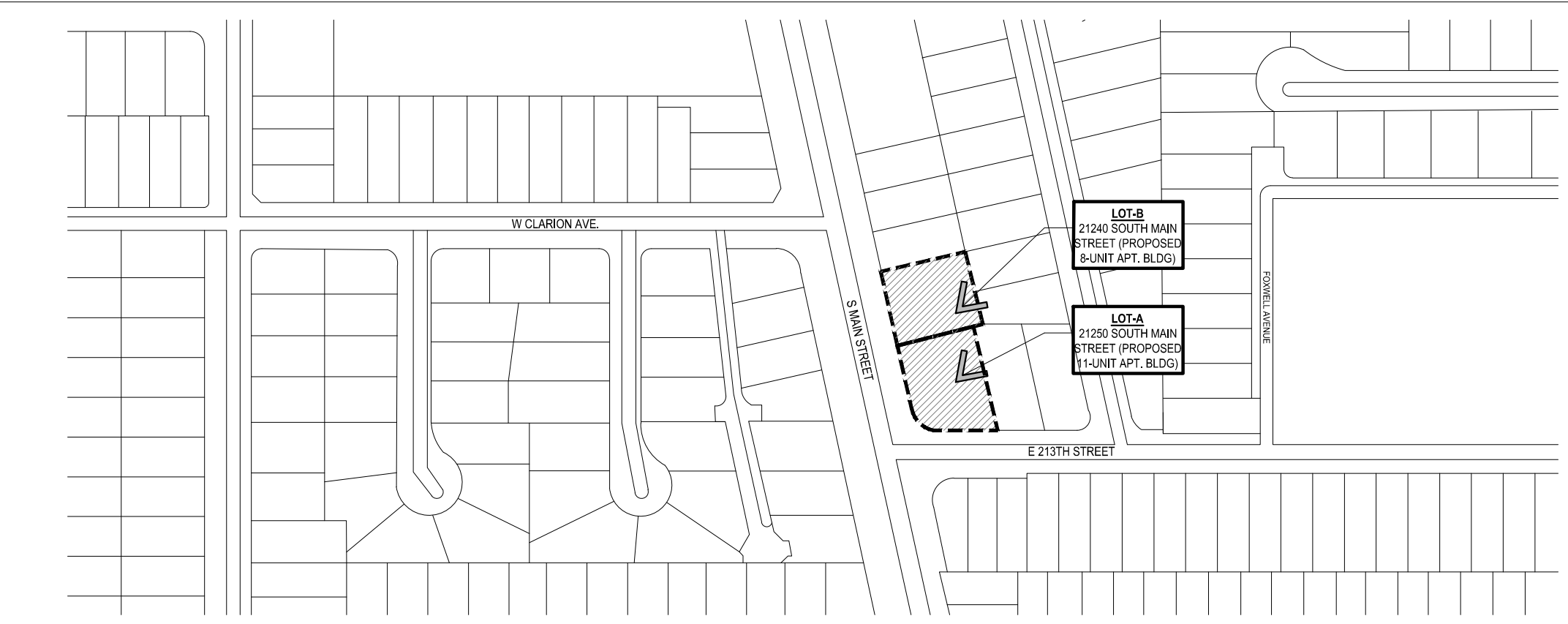
ABBREVIATIONS

AC	AIR CONDITIONING	FIN	FINISH	PL	PLATE / PROPERTY LINE
ABV	ABOVE	FK	FIXTURE	PLUMB	PLUMBING
ADJ	ADJUSTABLE	FL	FLUORESCENT	PLYWD	PLYWOOD
A.F.F.	ABOVE FINISH FLOOR	FLASH	FLASHING	PR	PAIR
AL	ALUMINUM	F.L.R.	FLOOR	R	RISER
ALT.	ALTERNATE	FND.	FOUNDATION	RAD.	RADIUS
ARCH.	ARCHITECT / ARCHED	FT.	FOOT / FEET	R.A.G.	RETURN AIR GRILL
ASSEMB.	ASSEMBLY	FTG.	FOOTING	R.D.	ROOF DRAIN
AUTO.	AUTOMATIC	FX	FIXED	R.O.	ROUGH OPENING
BALC.	BALCONY	G.F.I.	GROUND FAULT INTERRUPTER	RAD.	RADIUS
BD.	BOARD	G.I.	GALVANIZED IRON	RECPT.	RECEPTACLE
BDRM	BEDROOM	G.L.B.	GLULAM BEAM	REF.	REFRIGERATOR / REFERENCE
BLDG.	BUILDING	GA	GAUGE	REG.	REGISTER
BLK.	BLOCK	GALV.	GALVANIZED	REINF.	REINFORCEMENT
BLKG.	BLOCKING	GL	GLASS	REQ.	REQUIRED
BM.	BEAM	GND.	GROUND	REV.	REVERSE
		GR.	GRADE	RM.	ROOM
		GYP. BD.	GYP. BOARD	S.A.	SMOKE ALARM
C	CARPET	H.B.	HOSE BIB	S.C.	SOLID CORE
C.I.	CONTROL JOINT	H.C.	HOLLOW CORE	S.H.	SINGLE HUNG
CAB.	CABINET	HDR.	HEADER	SECT.	SECTION
C.B.C.	CALIFORNIA BUILDING CODE	HGT.	HEIGHT	SH	SHELF
C.E.C.	CALIFORNIA ELECTRICAL CODE	HE	HIGH	SHT.	SHEET
CEM.	CEMENT	HOR.	HORIZONTAL	SHTG.	SHIELDING
CER.	CERAMIC	HR.	HOUR	SHWR.	SHOWER
C.F.C.	CALIFORNIA FIRE CODE	HVAC	HEATING VENTILATION AND AIR CONDITIONING	SL.	SLIDER
CHG.	CHANGE	I.A.	INSIDE DIAMETER	SPEC.	SPECIFICATION
CL	CENTERLINE	IN	INCH	SQ.	SQUARE
CLF.	CEILING	INSUL.	INSULATION	STD.	STANDARD
CLR.	CLEAR	INT.	INTERIOR	STL.	STEEL
C.M.C.	CALIFORNIA MECHANICAL CODE	JST.	JOIST	STOR.	STORAGE
C.P.C.	CALIFORNIA PLUMBING CODE	JT.	JOINT	STRUCT.	STRUCTURAL
COL.	COLUMN	KIT.	KITCHEN	T	TREAD
COMP.	COMPOSITION	LAV.	LAVATORY	T & G.	TONGUE & GROOVE
CONC.	CONCRETE	MAS.	MASONRY	T.B.	TOWEL BAR
CONSTR.	CONSTRUCTION	MAT.	MATERIAL	T.O.C.	TOP OF CURB
CONT.	CONTINUOUS	MAX.	MAXIMUM	T.O.D.R.	TOP OF DOOR
CTR.	CENTER	MCH.	MECHANICAL	T.O.M.	TOP OF MASONRY
C.O.	CASED OPENING	MEMB.	MEMBRANE	T.O.P.	TOP OF PLATE
		MFR.	MANUFACTURER	T.SHTG.	TOP OF SHEATHING
		MIN.	MINIMUM	T.W.	TOP OF WALL
		MIS.	MISCELLANEOUS	T.O. WIN.	TOP OF WINDOW
		MISC.	MISCELLANEOUS	TEMP.	TEMPERED
		MTD.	MOUNTED	THK.	THICK
		MT.	METAL THRESHOLD	TRNS.	TRANSFORMER
		MTL.	METAL	TYP.	TYPICAL
		N.I.C.	NOT IN CONTRACT	U.B.C.	UNIFORM BUILDING CODE
		N.I.S.	NOT TO SCALE	U.L.	UNDERWRITERS LABORATORY
		N/A	NOT APPLICABLE	U.N.D.	UNLESS NOTED OTHERWISE
		NAT.	NATURAL	V.T.R.	VENT THROUGH ROOF
		NO.	NUMBER	VENT.	VENTILATION
		O.C.	ON CENTER	VERT.	VERTICAL
		O.A.	OUTSIDE DIAMETER	VEST.	VESTIBULE
		O.I.	OVER	VOL.	VOLUME
		OBS.	OBSCURE	W.	WEST / WIDE / WIDTH / WASHER
		OFF.	OFFICE	W.H.	WATER HEATER
		OPNG.	OPENING	W.I.	WROUGHT IRON
		OPP.	OPPOSITE	W.I.C.	WALK IN CLOSET
		P	PANTRY / POLE	W.R.	WATER RESISTANT
		P.L.A.M.	PLASTIC LAMINATE	W.	WITH
		P.T.	PRESSURE TREATED	WD.	WOOD
		PERIM.	PERIMETER	WP.	WATERPROOF
		PERP.	PERPENDICULAR	WT.	WEIGHT
		P.H.	PHONE		

SYMBOLS (PARTIAL LIST)

(10)	COORDINATE LINE	(14)	WITH (DASHED LINES) KEYNOTE
(11)	BUILDING SECTION NUMBER SHEET	(15)	WALL TYPE W/ LOCATION OF MULTIPLE LAYERS W/ NOTED
(12)	DETAIL NUMBER	(16)	REDUCER STRIP / FLOOR ASSEMBLY - SEE SCHEDULE
(13)	ELEVATION, X REFERENCE OR DATUM	(17)	FIRE RETARDANT SEALANT - SEE SCHEDULE
(14)	DOOR NUMBER	(18)	ROOM REFERENCE
(15)	WINDOW LETTER(S)	(19)	WOOD FINISH
(16)	REVISION NUMBER	(20)	WOOD CONTINUOUS
(17)	ACCESSORY NUMBER, REFER TO ACCESSORY SCHEDULE	(21)	WOOD BLOCKING
(18)	NOT IN CONTRACT BY OTHERS (N.I.C. HAS TO BE WRITTEN)	(22)	PLYWOOD
(19)		(23)	GYP. BD.
(20)		(24)	DETAIL NUMBER / LETTER SHEET NUMBER
(21)		(25)	CONCRETE

VICINITY MAP



PLOT DATE: 8/25/21

RECIPROCAL EASEMENT AGREEMENT (REA)

- A REA for reciprocal access, parking, utilities, and waste disposal shall be recorded against both properties (APN 7334-002-007 and APN 7334-002-007) prior to the issuance of building permits.
- The City of Carson shall review and approve the REA prior to recordation.
- The REA shall take effect immediately upon recordation.
- The City of Carson shall be a named third-party beneficiary of the REA. The REA shall not be amended or terminated without prior written consent from the City of Carson.

PROJECT AREAS

BUILDING INFORMATION:

21250 Main Street, Carson CA

Lot Area: 12,033 sf
 Max. Density: 40 per Ac.
 Density Allowed: 11 units
 Density Proposed: 11 units

Unit #	Type	Area	Balcony
101	2B + 2Ba	945	85
201	2B + 2Ba	980	74
202	2B + 2Ba	977	66
203	2B + 2Ba	1,037	76
204	2B + 2Ba	1,090	78
205	2B + 2Ba	1,054	88
301	2B + 2Ba	980	74
302	2B + 2Ba	977	66
303	2B + 2Ba	1,037	76
304	2B + 2Ba	1,090	78
305	2B + 2Ba	1,054	88
TOTAL		11,221	849

Common open space 1,716
 Total open space 2,565

Parking required: 2.2 / unit 24
 Parking provided: 24

Common Floor Area
 1st Floor = 540 SF
 2nd Floor = 420 SF
 3rd Floor = 150 SF
TOTAL = 1,110 SF

Total Bldg. Floor Area
 11,221 + 1,110 = **12,331 SF**

Covered (not enclosed) Parking Area = **5,714 SF**

Lot Coverage = 7,049 SF (58.5%)

21240 Main Street, Carson CA

Lot Area: 10,564 sf
 Max. Density: 40 per Ac.
 Density Allowed: 9 units
 Density Proposed: 8 units

Unit #	Type	Area	Balcony
101	2B + 2Ba	1,042	92
201	2B + 2Ba	1,081	80
202	2B + 2Ba	1,944	69
203	2B + 2Ba	1,031	54
204	2B + 2Ba	1,025	66
301	2B + 2Ba	1,081	80
302	2B + 2Ba	944	69
303	4B + 4Ba	2,061	120
TOTAL		9,209	630

Common open space 2,678
 Total open space 3,308

Parking required: 2.2 / unit 18
 Parking provided: 18

Common Floor Area
 1st Floor = 539 SF
 2nd Floor = 324 SF
 3rd Floor = 80 SF
TOTAL = 943 SF

Total Bldg. Floor Area
 9,209 + 943 = **10,152 SF**

Covered (not enclosed) Parking Area = **4,190 SF**

Lot Coverage = 5,888 SF (55.7%)

BUILDING INFORMATION:

LOT AREA = 22,597 (0.52 ACRES)
 MAX DENSITY = 40 UNITS / ACRE
 DENSITY ALLOWED = 20.8 UNITS (20 UNITS)
 DENSITY PROPOSED = 19 UNITS
 COMMON OPEN SPACE = 4,394 SF
 PRIVATE OPEN SPACE = 1,479 SF
 TOTAL OPEN SPACE = 5,873 SF (309 SF / UNIT)
 PARKING REQUIRED = 19 x 2.2 = 41.8 = 42 SPACES
 PARKING PROPOSED = 24 + 18 = 42 SPACES (INCLUDING 4 H/C)
 PROPOSED LOT COVERAGE = 7,049 + 5,888 = 12,937 SF (57.25%)
 PROPOSED BUILDING FLOOR AREA = 22,483 SF
 PROPOSED FAR = 1.0
 PROPOSED BLDG. HT. = 39 FT.
 (MEASURED TO ROOF LVL.)



2173 LOMITA BLVD. #201
 LOMITA CALIFORNIA 90717

Architect:

ART ASHAI, AIA

2173 LOMITA BLVD. #201
 LOMITA CALIFORNIA 90717
 PHONE: 424-263-5888
 email: artashai@gmail.com

Copyright:
 This drawing is the property of DESIGNER, and it is not to be reproduced or copied in whole or part. It is not to be used for any other project and is to be returned upon request. The DESIGNER retains all copyrights for this document.

Owner:

NANCY KIM

-

CARSON LOFTS
 21240 MAIN STREET & 21250 MAIN STREET
 CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
 21240 Main Street Carson, CA 90745
 21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
 APN: 7334-002-007
 APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

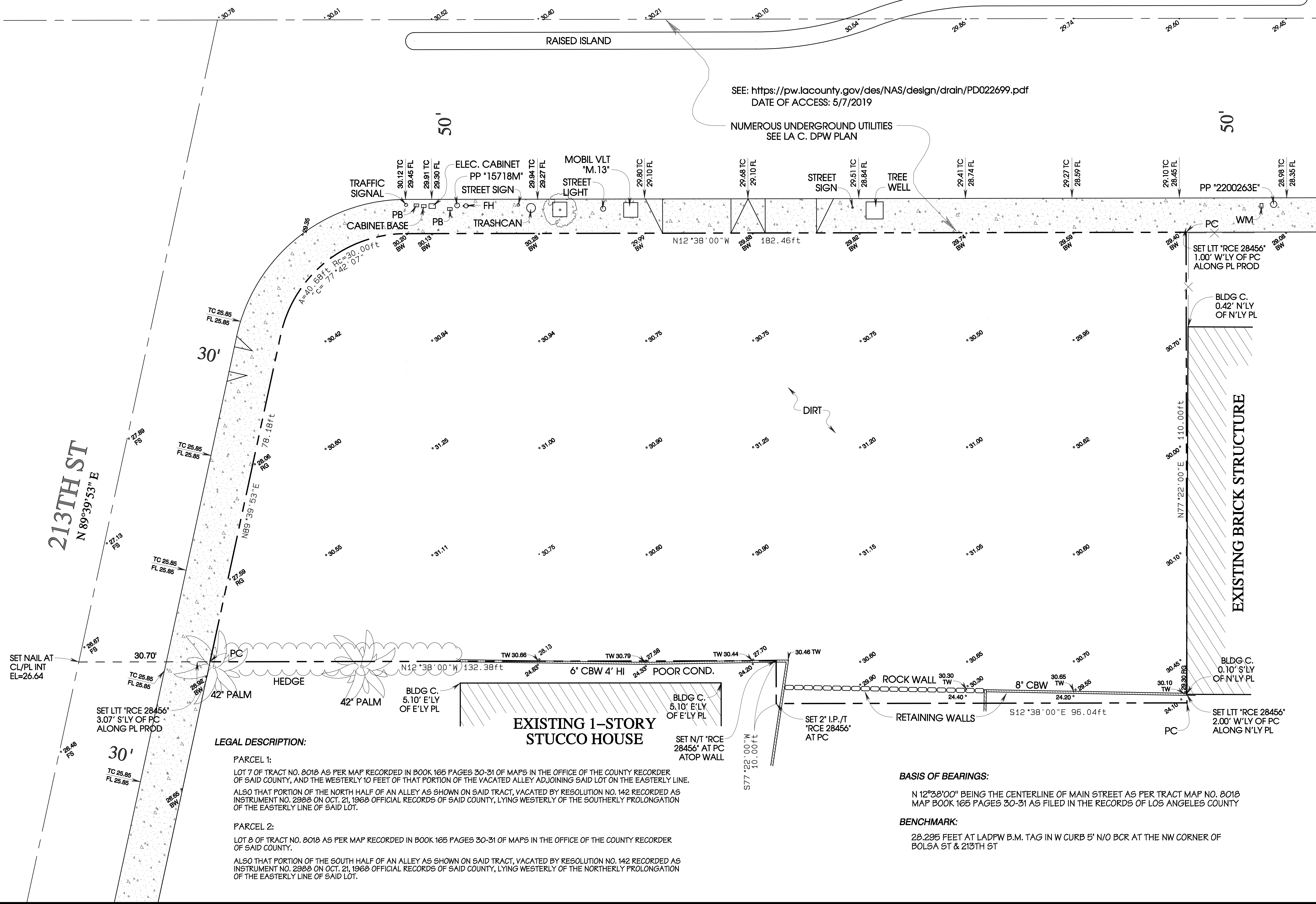
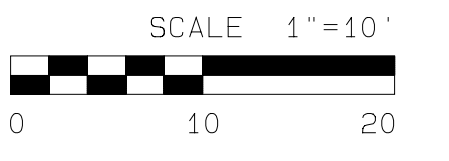
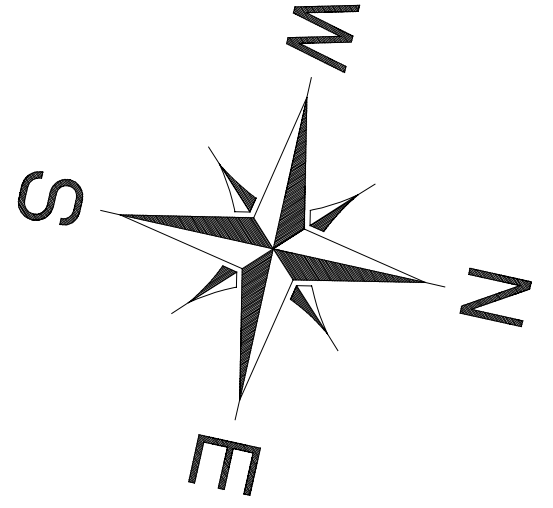
Sheet Title:
PROJ. AREAS AND SUMMARY

Scale: AS NOTED Job Number: J-1908
 Date: Aug2021 Sheet Number:
 Drawn: orkihous **T-002**
 Check'd: CTV/RRJ

PLOT DATE: 8/25/21

MAIN ST

N 12°38'00" W



SEE: <https://pw.lacounty.gov/des/NAS/design/drain/PD022699.pdf>
DATE OF ACCESS: 5/7/2019

NUMEROUS UNDERGROUND UTILITIES
SEE LA C. DPW PLAN

PREPARED FOR:
MARIGELA ALONZO GARCIA

DATE OF SURVEY:
MARCH 2019

ASSESSOR'S ID NUMBER:
7334-002-007
7334-002-008

BOUNDARY / TOPOGRAPHIC SURVEY

SITE ADDRESS:
21240-50 MAIN STREET
CARSON, CA 90745

MAP ISSUE DATE:
5/6/2019

DATE OF REVISION:
12/13/2019

COMMENTS:

REGISTERED CIVIL ENGINEER:
ALL MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER DOCUMENTS ARE PREPARED UNDER THE RESPONSIBLE CHARGE OF A REGISTERED CIVIL ENGINEER, LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA, BRUCE H. BORNEMANN, RCE 28456, PURSUANT TO THE PROFESSIONAL LAND SURVEYOR'S ACT BUSINESS AND PROFESSIONS CODE SECTION 8700.8805.



BRUCE BORNEMANN (310) 467.2333 1814 W 247TH ST. LOMITA, CA 90717

LEGAL DESCRIPTION:

PARCEL 1:
LOT 7 OF TRACT NO. 8018 AS PER MAP RECORDED IN BOOK 165 PAGES 30-31 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND THE WESTERLY 10 FEET OF THAT PORTION OF THE VACATED ALLEY ADJOINING SAID LOT ON THE EASTERLY LINE. ALSO THAT PORTION OF THE NORTH HALF OF AN ALLEY AS SHOWN ON SAID TRACT, VACATED BY RESOLUTION NO. 142 RECORDED AS INSTRUMENT NO. 2988 ON OCT. 21, 1968 OFFICIAL RECORDS OF SAID COUNTY, LYING WESTERLY OF THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT.

PARCEL 2:
LOT 8 OF TRACT NO. 8018 AS PER MAP RECORDED IN BOOK 165 PAGES 30-31 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. ALSO THAT PORTION OF THE SOUTH HALF OF AN ALLEY AS SHOWN ON SAID TRACT, VACATED BY RESOLUTION NO. 142 RECORDED AS INSTRUMENT NO. 2988 ON OCT. 21, 1968 OFFICIAL RECORDS OF SAID COUNTY, LYING WESTERLY OF THE NORTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT.

BASIS OF BEARINGS:

N 12°38'00" BEING THE CENTERLINE OF MAIN STREET AS PER TRACT MAP NO. 8018 MAP BOOK 165 PAGES 30-31 AS FILED IN THE RECORDS OF LOS ANGELES COUNTY

BENCHMARK:

28.295 FEET AT LADPW B.M. TAG IN W CURB 5' N/O BCR AT THE NW CORNER OF BOLSA ST & 213TH ST

PROJECT INFORMATION:

WATER PURVEYOR:
CALIFORNIA WATER SERVICE COMPANY
TOTAL LANDSCAPE AREA : 3164 SQUARE FEET

PARCEL INFORMATION :
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CA 90745

A.P.N. 7334-002-007
A.P.N. 7334-002-008

GENERAL NOTES:

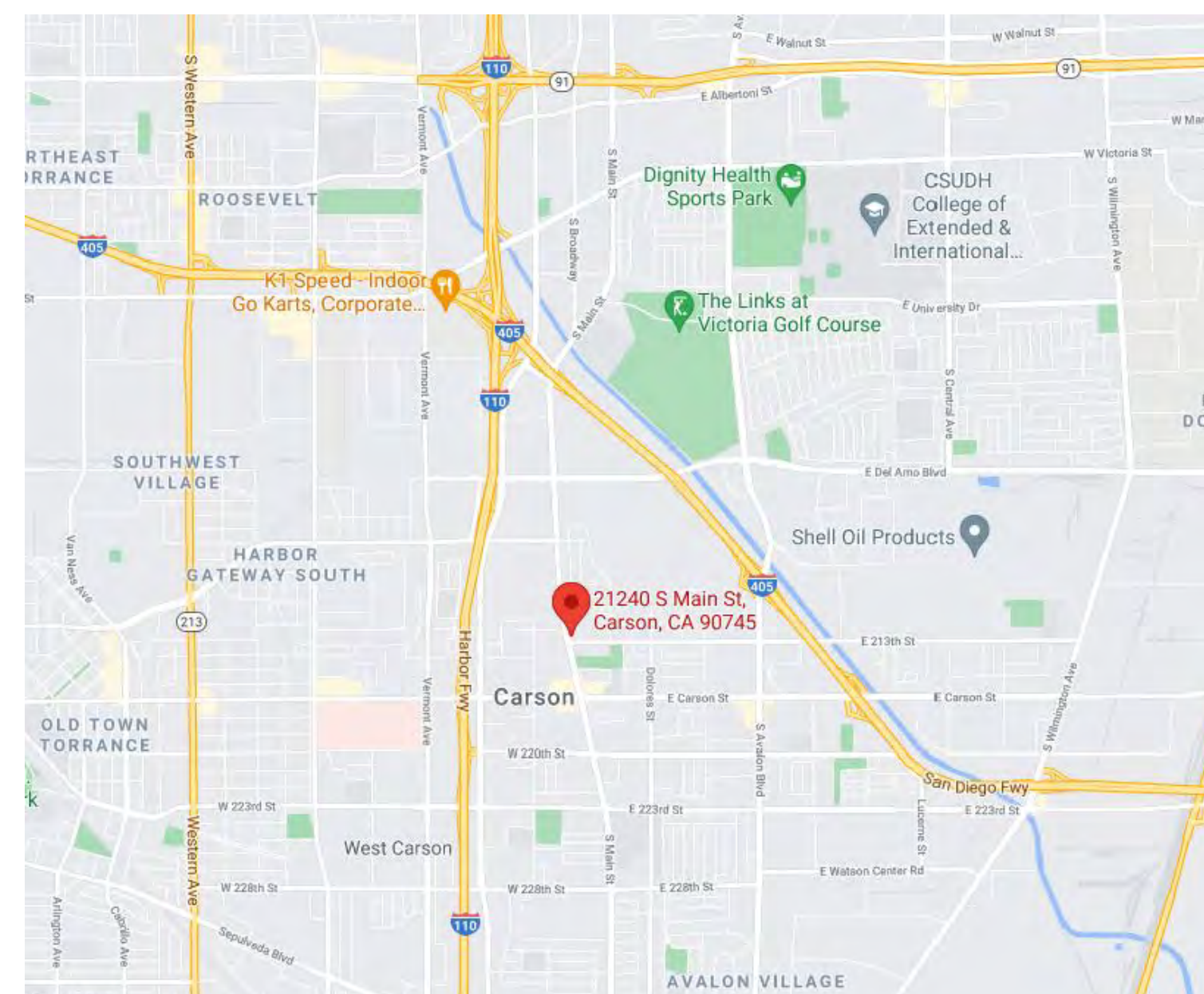
- OWNER TO MAINTAIN LANDSCAPE AND IRRIGATION SYSTEM
- STREET TREES WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE PLANTED PER APPROVED STREET IMPROVEMENT PLANS.
- ALL HARDSCAPES, RETAINING WALLS, SWIMMING POOLS, AND/OR BLOCK WALLS MUST BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT.
- ALL PLANTS ARE IN COMPLIANCE WITH MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0).
- CONTRACTOR TO PROTECT AND PRESERVE IN PLACE ALL EXISTING SURVEY MONUMENTS. ANY MONUMENT DISTURBED SHALL BE RESET BY A LICENSED LAND SURVEYOR AND THE APPROPRIATE CORNER RECORD MUST BE FILED WITH THE COUNTY OF LOS ANGELES.
- TREE CANOPIES ARE SHOWN AT FULL MATURITY.
- AUDIT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDITOR HANDBOOK. THE LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AND THE AUDIT SCHEDULE SHALL BE CONDUCTED AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE.
- TOTAL PROPOSED LANDSCAPE AREA: 3164 S.F.
- TOTAL TURF AREA = 0 S.F. IS 0% OF TOTAL LANDSCAPE AREA.
- TOTAL DROUGHT TOLERANT LANDSCAPING AREA = 3164 S.F. IS 100% OF THE TOTAL PROPOSED LANDSCAPE AREA.
- HYDROZONING IRRIGATION TECHNIQUES SHALL BE INCORPORATED INTO THE LANDSCAPE DESIGN.
- THIS PROJECT REQUIRES A LANDSCAPE PERMIT. PRIOR TO FINAL, CERTIFICATION FROM A LICENSED LANDSCAPE ARCHITECT SHALL BE PROVIDED TO THE BUILDING OFFICIAL. FINAL CERTIFICATION CAN BE OBTAINED AT THE FOLLOWING: <http://dpw.lacounty.gov/bsd/publications/index.cfm>

SHEET INDEX

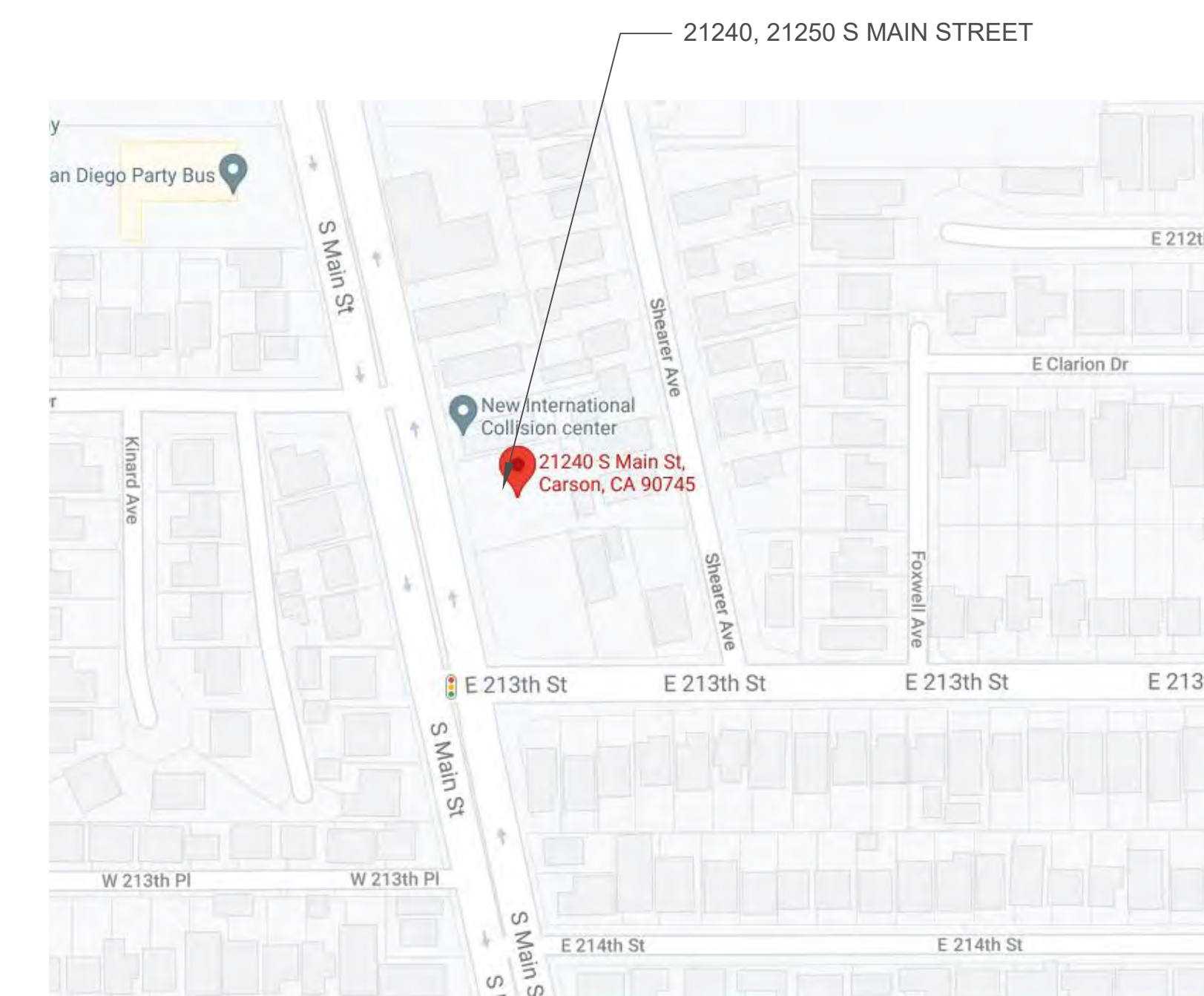
- L.0 TITLE SHEET
- L.1.0 CONCEPTUAL PLAN - GROUND FLOOR
- L.1.1 CONCEPTUAL PLAN - SECOND FLOOR
- L.2 PLANT PALETTE

Site Information								
Site Name →		21240-21250 MAIN ST., CARSON, CA 90745						
Site Type →		Residential	Allowed ETAF: 0.55					
Annual Eto (inches/yr) →		42.6						
Hydrozone or Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Hydrozone Area (sqft.)	ETAF x Area	Estimated Total Water Use (gal./yr.)	
Regular Landscape Areas								
1	0.3	Low	Bubbler	0.81	0.4	22	8	
2	0.3	Low	Bubbler	0.81	0.4	22	8	
3	0.3	Low	Drip	0.81	0.4	158	58	
4	0.3	Low	Drip	0.81	0.4	478	177	
5	0.3	Low	Bubbler	0.81	0.4	13	5	
6	0.3	Low	Drip	0.81	0.4	941	349	
B1	0.3	Low	Bubbler	0.81	0.4	51	19	
B2	0.3	Low	Drip	0.81	0.4	451	167	
B3	0.3	Low	Bubbler	0.81	0.4	19	7	
B4	0.3	Low	Drip	0.81	0.4	128	47	
B5	0.3	Low	Drip	0.81	0.4	944	350	
SUBTOTAL →						3,227	1,196	31,589
Special Landscape Areas								
1							0	
1							0	
1							0	
1							0	
SUBTOTAL →						0	0	0
Estimated Total Water Use (ETWU) →						31,589		
Maximum Allowed Water Allowance (MAWA) →						46,877		
ETAF Calculations		Notes:						
Regular Landscape Areas		<p>Water Efficient Landscape Worksheet</p> <p>Adapted from California Code of Regulations Title 23, Division 2, Chapter 2.7, Model Water Efficient Landscape Ordinance</p>						
Total ETAF x Area								
Total Area								
Average ETAF								
All Landscape Areas								
Total ETAF x Area		1,196						
Total Area		3,227						
Site-wide ETAF		0.37						

SITE WATER USE CALCULATIONS



VICINITY MAP



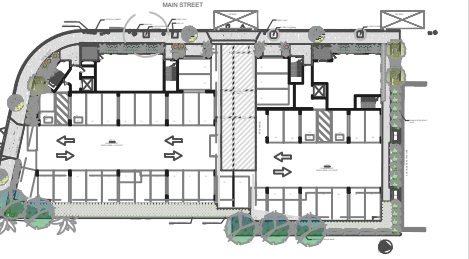
KEY MAP

CARSON LOFTS APARTMENTS
21240 MAIN STREET
& 21250 MAIN STREET
CARSON, CA 90745

VIRIDITAS DESIGN

Landscape Architecture

Anne Jones
RLA CA 5999
viriditasdesigngroup@gmail.com
2735 W. Avenue 33
Los Angeles, CA
323.377.1018



A.P.N. 7334-002-007
A.P.N. 7334-002-008

ARCHITECT:
NOLO DESIGN STUDIO
ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA, CA 90717
424.263.5688
artashai@gmail.com

REVISIONS

DATE:

MAY 27, 2021









SCALE:








1/8" = 1'-0"

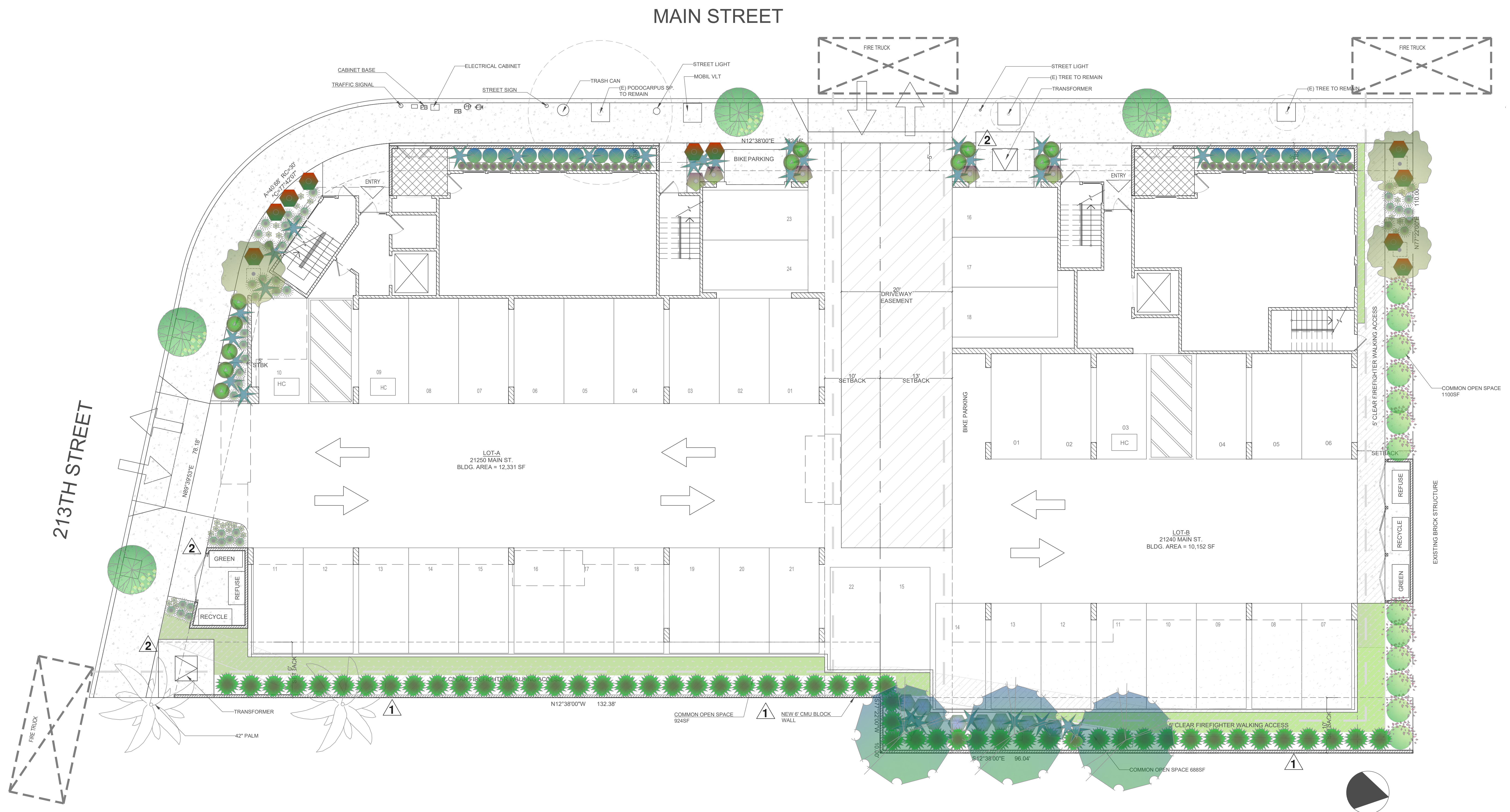
TITLE SHEET

L.0

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE AT 5 YRS.	PLANT TYPE	WUCOLS RATING
 ACHILLEA MILLEFOLIUM	COMMON YARROW	6" X 1"	GROUND COVER	0.3/L
 AGAVE ATTENUATA	FOXTAIL AGAVE	2' X 2'	SUCCULENT	0.3/L
 ALOE STRIATA	CORAL ALOE	2' X 18"	SUCCULENT	0.3/L
 CAREX DIVULSA (TUMULICOLA)	BERKELEY SEDGE	18" X 2'	GRASS LIKE	0.3/L
 GREVILLEA LANIGERA 'COASTAL GEM'	COASTAL GEM	1' X 3'	SHRUB	0.3/L
 LANTANA 'NEW GOLD'	NEW GOLD LANTANA	3' X 3'	SHRUB	0.3/L
 LAURUS NOBILIS (SHRUB FORM)	SWEET BAY	8' X 4'	SHRUB	0.3/L
 LOMANDRA 'NYALLA'	NYALLA MAT RUSH	3' X 3'	GRASS LIKE	0.3/L

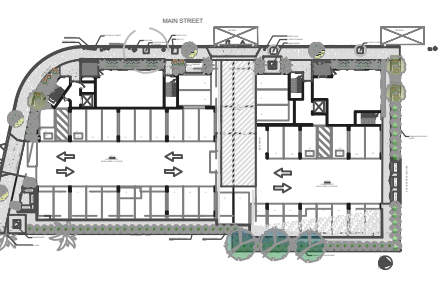
 RAPHIOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN	4' X 4'	SHRUB	0.3/L
 WESTRINGIA 'BLUE GEM'	BLUE GEM COAST ROSEMARY	6' X 3'	SHRUB	0.3/L
 WESTRINGIA FRUTICOSA 'GREY BOX'	DWARE COAST ROSEMARY	3' X 3'	SHRUB	0.3/L
 WESTRINGIA FRUTICOSA 'MUNDII'	MUNDI COAST ROSEMARY	18" X 3'	SHRUB	0.3/L
TREES				
 ARBUTUS MARINA - STANDARD FORM	STRAWBERRY TREE	15' X 12'	TREE	0.3/L
 GEJERA PARVIFLORA	AUSTRALIAN WILLOW	14' X 12'	TREE	0.3/L
 PROPOSED PARKWAY TREE	N/A	N/A	TREE	N/A



CONCEPTUAL LANDSCAPE PLAN - GROUND FLOOR
SCALE: 1/8" = 1'-0"

CARSON LOFTS APARTMENTS
21240 MAIN STREET
& 21250 MAIN STREET
CARSON, CA 90745

VIRIDITAS DESIGN
Landscape Architecture
Anne Jones
RLA CA 5999
viriditasdesigngroup@gmail.com
2735 W. Avenue 33
Los Angeles, CA
323.377.1018



A.P.N. 7334-002-007
A.P.N. 7334-002-008

ARCHITECT:
NOLO DESIGN STUDIO
ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA, CA 90717
424.263.5988
artashai@gmail.com

REVISIONS	
1	AUGUST 13, 2021
2	OCTOBER 15, 2021

DATE:
MAY 27, 2021
SCALE:
1/8" = 1'-0"

CONCEPTUAL
PLAN GROUND
FLOOR
L.1.0

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE AT 5 YRS.	PLANT TYPE	WUCOLS RATING
 ECHEVERIA 'VIOLET QUEEN'	VIOLET QUEEN 'HENS AND CHICKS'	6" X 6"	SUCCULENT	0.3/L
 ECHEVERIA 'ZORRO'	ZORRO ECHEVERIA	18" X 1'	SUCCULENT	0.3/L
 HARDENBERGIA VIOLACEA TRELLISED	PURPLE VINE LILAC	6' X 3'	VINE	0.3/L
 KALANCHOE 'OAK LEAF'	DWARF VELVET PLANT	2' X 2'	SUCCULENT	0.3/L
 PORTULACARIA AFRA MINIMA	ELEPHANT'S FOOD	>1' X 3'	SUCCULENT	0.3/L
 RUSELLIA EQUISETIFORMIS	CORAL FOUNTAIN	3' X 3'	PERENNIAL	0.3/L
 TRADESCANTIA 'GREENLEE'	PALE PUMA SPIDERWORT	<1' X 4'	SUCCULENT	0.3/L
 XEROSICYOS DANGUYI	SILVER DOLLAR VINE	<1' X 4'	SUCCULENT	0.3/L



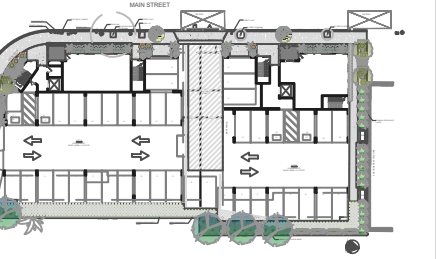
CONCEPTUAL LANDSCAPE PLAN -SECOND FLOOR
SCALE: 1/8" = 1'-0"

CARSON LOFTS APARTMENTS
21240 MAIN STREET
& 21250 MAIN STREET
CARSON, CA 90745

VIRIDITAS DESIGN

Landscape Architecture

Anne Jones
RLA CA 5999
viriditasdesigngroup@gmail.com
2735 W. Avenue 33
Los Angeles, CA
323.377.1018



A.P.N. 7334-002-007
A.P.N. 7334-002-008

ARCHITECT:
NOLO DESIGN STUDIO
ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA, CA 90717
424.263.5888
artashai@gmail.com

REVISIONS

NO.	DATE	DESCRIPTION

DATE:

MAY 27, 2021

SCALE:

1/8" = 1'-0"

CONCEPTUAL
PLAN SECOND
FLOOR

L.1.1



ACHILLEA MILLEFOLIUM
COMMON YARROW



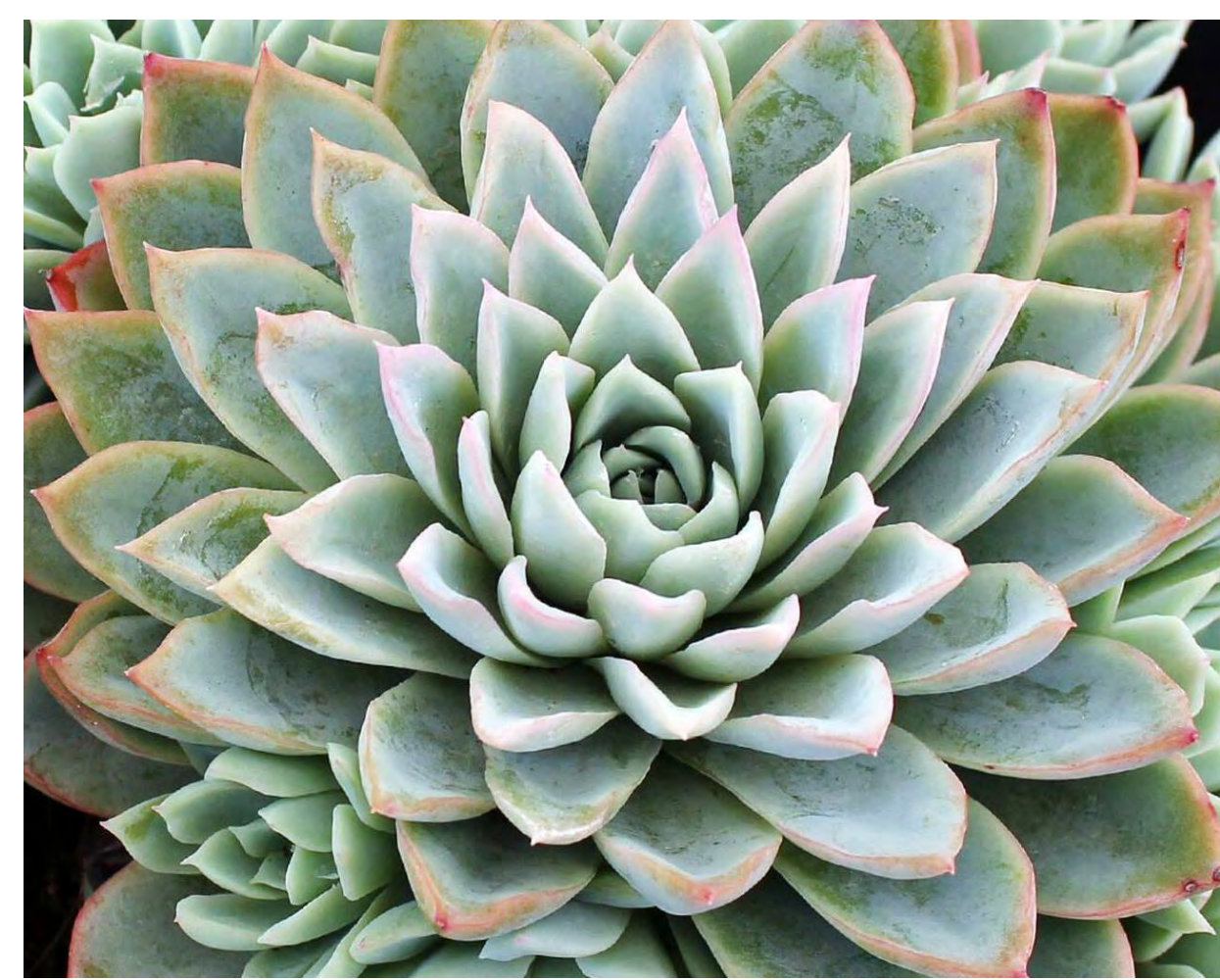
AGAVE ATTENUATA
FOXTAIL AGAVE



ALOE STRIATA
CORAL ALOE



CAREX TUMULICOLA (C. DIVULSA)
BERKELEY SEDGE



ECHEVERIA 'VIOLET QUEEN'
VIOLET QUEEN 'HENS AND CHICKS'



ECHEVERIA 'ZORO'
ZORO ECHEVERIA



GREVILLEA LANIGERA 'COASTAL GEM'
COASTAL GEM



HARDENBERGIA VIOLACEA
PURPLE VINE LILAC



KALANCHOE 'OAK LEAF'
DWARF ELEPHANT PLANT



LANTANA 'NEW GOLD'
LANTANA GOLDEN YELLOW



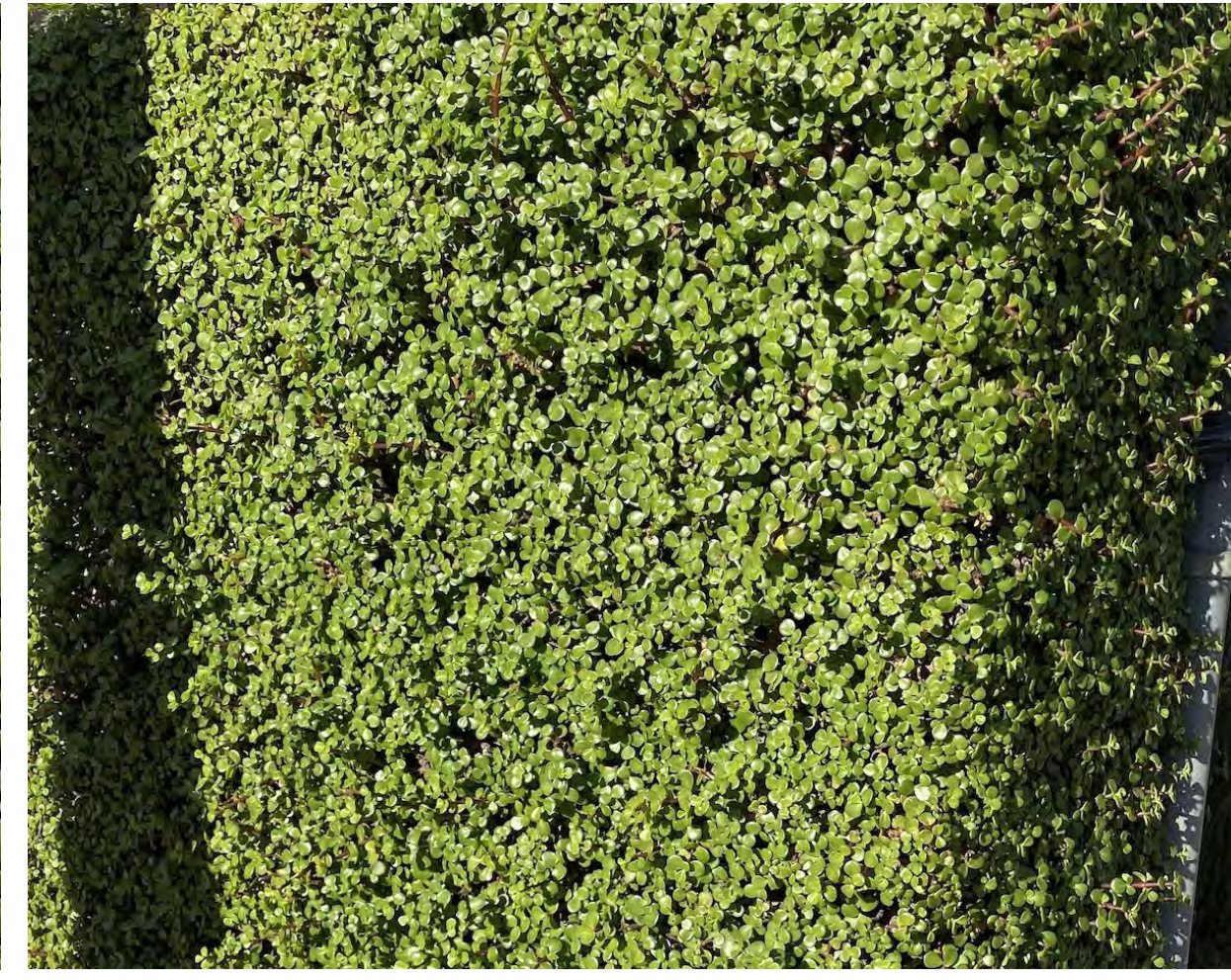
LAURIS NOBILIS (SHRUB)
SWEET BAY



LOMANDRA LOMGIFOLIA 'NYALLA'
NYALLA MAT RUSH



PORTULACARIA AFRA 'MINIMA'
ELEPHANT'S FOOD



PORTULACARIA AFRA 'SKYSCRAPER'
NARROW ELEPHANT'S FOOD



RAPHIOLEPIS 'INDICA'
INDIA HAWTHORN



RUPELLIA EUISETIFORMIS
CORAL FOUNTAIN



TRADESCANTIA 'GREENLEE'
PALE PUMA SPIDERWORT



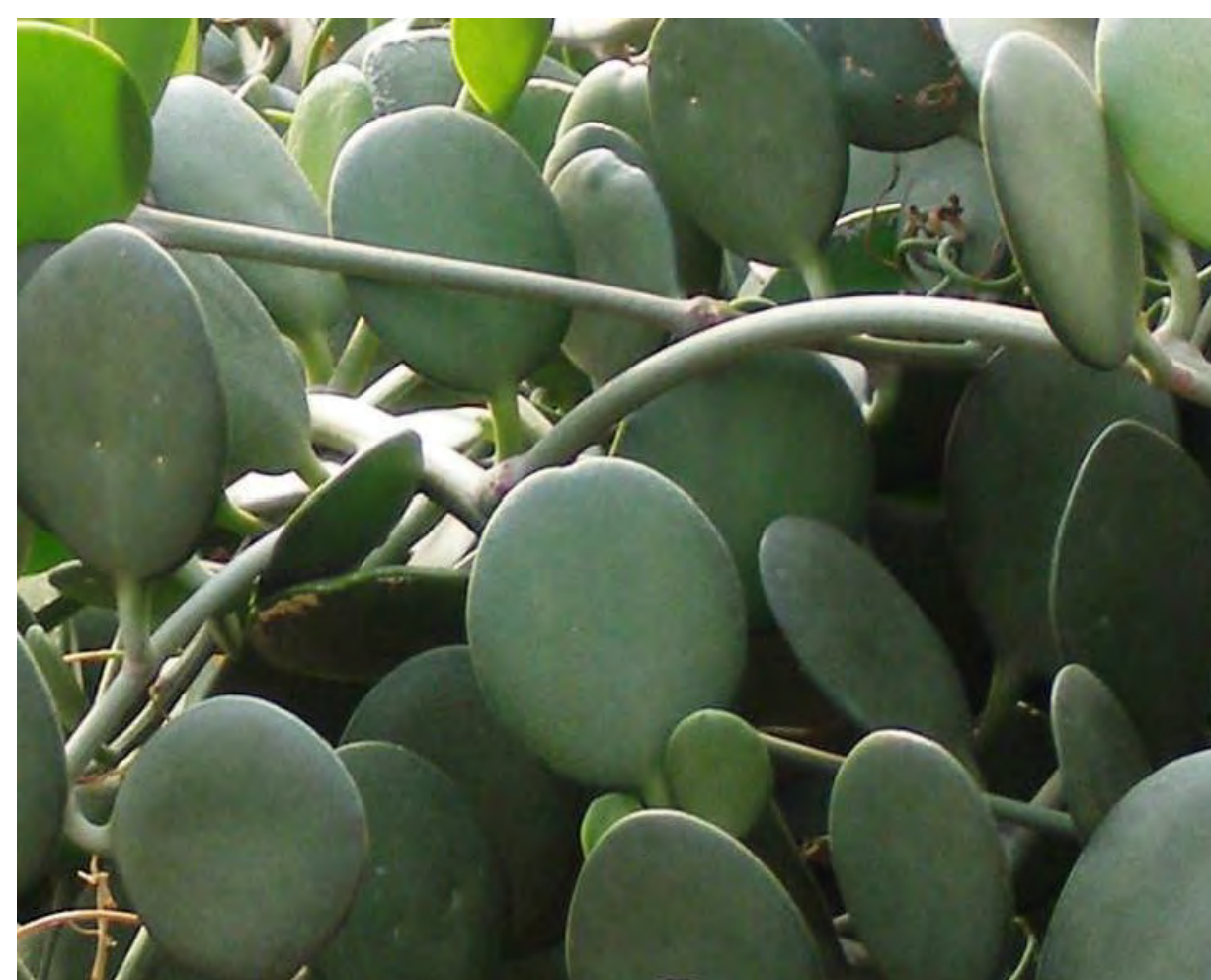
WESTRINGIA 'BLUE GEM'
BLUE GEM COAST ROSEMARY



WESTRINGIA FRUTICOSA 'GREY BOX'
DWARF COAST ROSEMARY



WESTRINGIA FRUTICOSA 'MUNDI'
LOW COAST ROSEMARY



XEROSICYOS DANGUYI
SILVER DOLLAR VINE



ARBUTUS UNEDO STD.
STRAWBERRY TREE



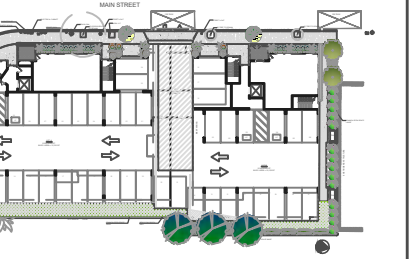
GEIJERA PARVIFLORA
AUSTRALIAN WILLOW

CARSON LOFTS APARTMENTS
21240 MAIN STREET
& 21250 MAIN STREET
CARSON, CA 90745

VIRIDITAS
DESIGN

Landscape Architecture

Anne Jones
RLA CA 5999
viriditasdesigngroup@gmail.com
2735 W. Avenue 33
Los Angeles, CA
323.377.1018



A.P.N. 7334-002-007
A.P.N. 7334-002-008

ARCHITECT:
NOLO DESIGN STUDIO
ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA, CA 90717
424.263.5888
artashai@gmail.com

REVISIONS

DATE:

MAY 27, 2021

SCALE:

N.T.S.

PLANT PALETTE

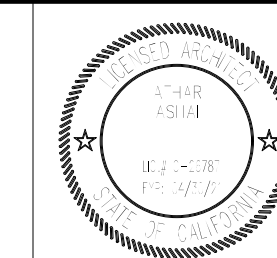
L.2

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008

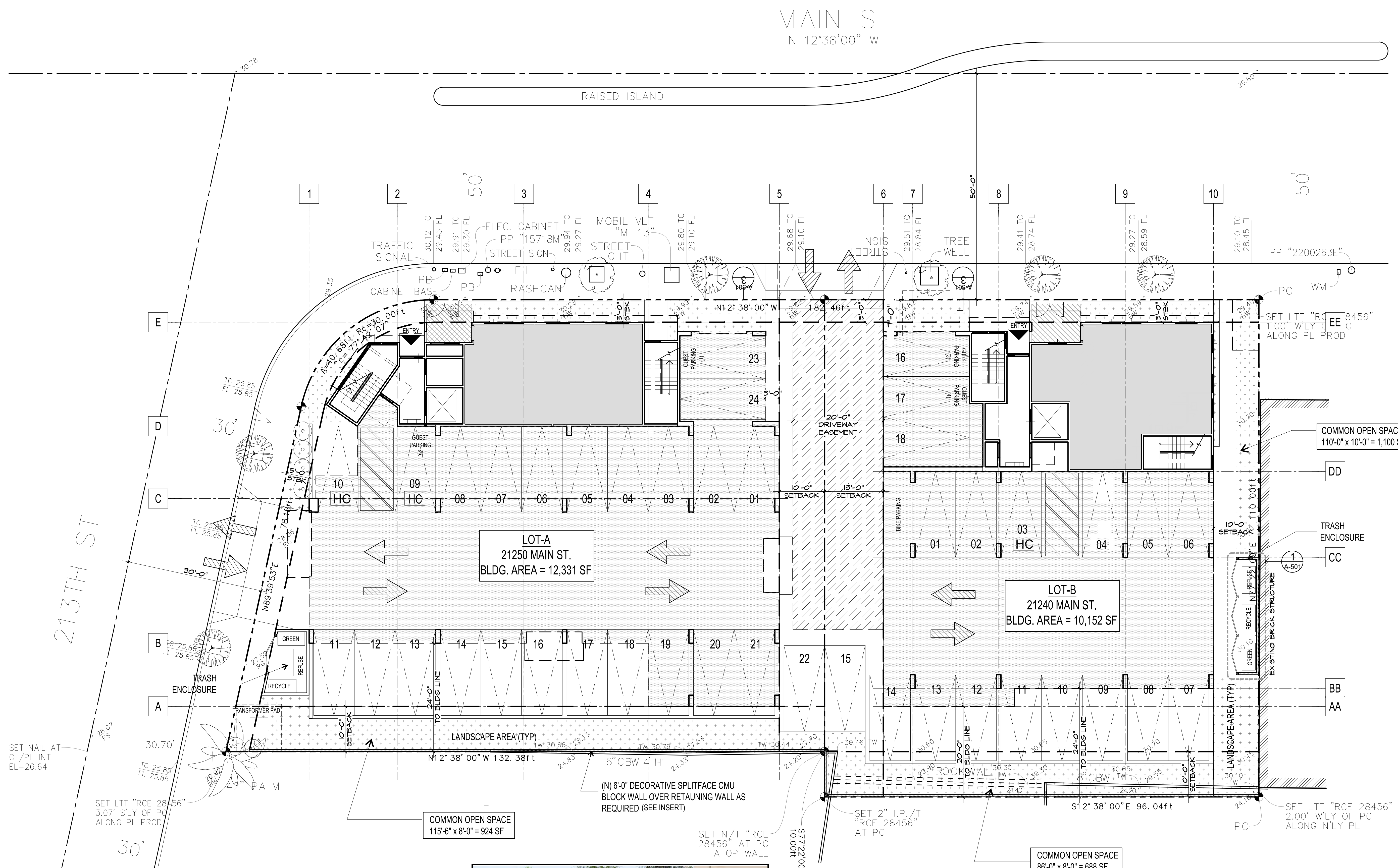


Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title:
SITE PLAN

Scale:	AS NOTED	Job Number:	J-1908
Date:	Aug2021	Sheet Number:	
Drawn:	arkihaus	A-001	
Check'd:	CTV/RRJ		

PLOT DATE: 10/20/21



BLOCK WALL EXAMPLE

PLANNING NOTES

MAIN ST
N 12'38'00" W

213TH ST

LOT-A
21250 MAIN ST.
BLDG. AREA = 12,331 SF

LOT-B
21240 MAIN ST.
BLDG. AREA = 10,152 SF

COMMON OPEN SPACE
115'-6" x 8'-0" = 924 SF

COMMON OPEN SPACE
86'-0" x 8'-0" = 688 SF

COMMON OPEN SPACE
110'-0" x 10'-0" = 1,100 SF

(N) 6'-0" DECORATIVE SPLITFACE CMU
BLOCK WALL OVER RETAINING WALL AS
REQUIRED (SEE INSERT)

SET NAIL AT
CL/PL INT
EL=26.64

SET LIT "RCE 28456"
3.07' S'LY OF PC
ALONG PL PROD

SET N/T "RCE
28456" AT PC
ATOP WALL

SET 2" I.P./T
"RCE 28456"
AT PC

SET LIT "RCE 28456"
2.00' W'LY OF PL
ALONG N'LY PL

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008



Rev. # Date/Issue Notes

1		
2		
3		

Sheet Title:

OPEN SPACE

Scale: AS NOTED Job Number: J-1908

Date: Aug2021 Sheet Number:

Drawn: orkihous

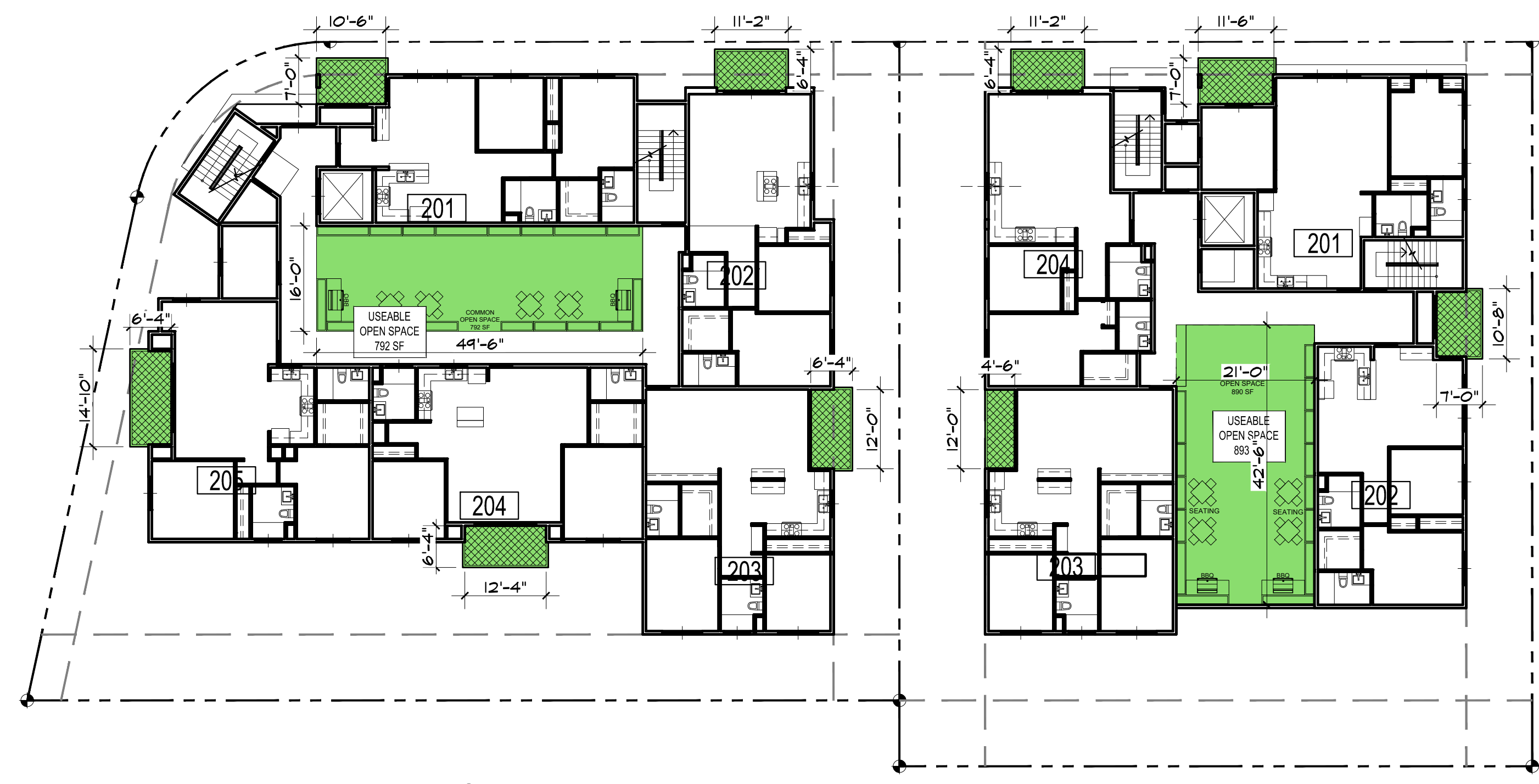
Check'd: CTV/RRJ

A-003

PLOT DATE: 10/20/21

21250 MAIN STREET (LOT A) – OPEN SPACE APN - 7334-02-07				21240 MAIN STREET (LOT B) – OPEN SPACE APN - 7334-002-008			
UNIT	WIDTH	DEPTH	AREA	UNIT	WIDTH	DEPTH	AREA
101	10'-0"	9'-0"	90 S.F.	101	10'-10"	9'-0"	98 S.F.
201	10'-6"	7'-0"	74 S.F.	201	11'-6"	7'-0"	81 S.F.
202	11'-2"	6'-4"	71 S.F.	202	10'-6"	7'-0"	74 S.F.
203	12'-0"	6'-4"	76 S.F.	203	12'-0"	4'-6"	54 S.F.
204	12'-4"	6'-4"	78 S.F.	204	11'-2"	6'-4"	71 S.F.
205	14'-10"	6'-4"	94 S.F.	301	11'-6"	7'-0"	81 S.F.
301	10'-10"	7'-0"	76 S.F.	302	9'-10"	7'-0"	69 S.F.
302	11'-2"	6'-4"	71 S.F.	303	12'-0"	4'-6"	54 S.F.
303	12'-0"	6'-4"	76 S.F.	303	11'-2"	6'-4"	71 S.F.
304	12'-4"	6'-4"	78 S.F.	TOTAL PRIVATE OPEN SPACE			653 s.f.
305	14'-2"	6'-4"	90 S.F.	USEABLE	42'-6"	21'-0"	893 S.F.
TOTAL PRIVATE OPEN SPACE			874 S.F.	COMMON			1,788 S.F.
USEABLE	49'-6"	16'-0"	792 S.F.				
COMMON			924 S.F.				
TOTAL			2,590 S.F.	TOTAL			3,334 S.F.

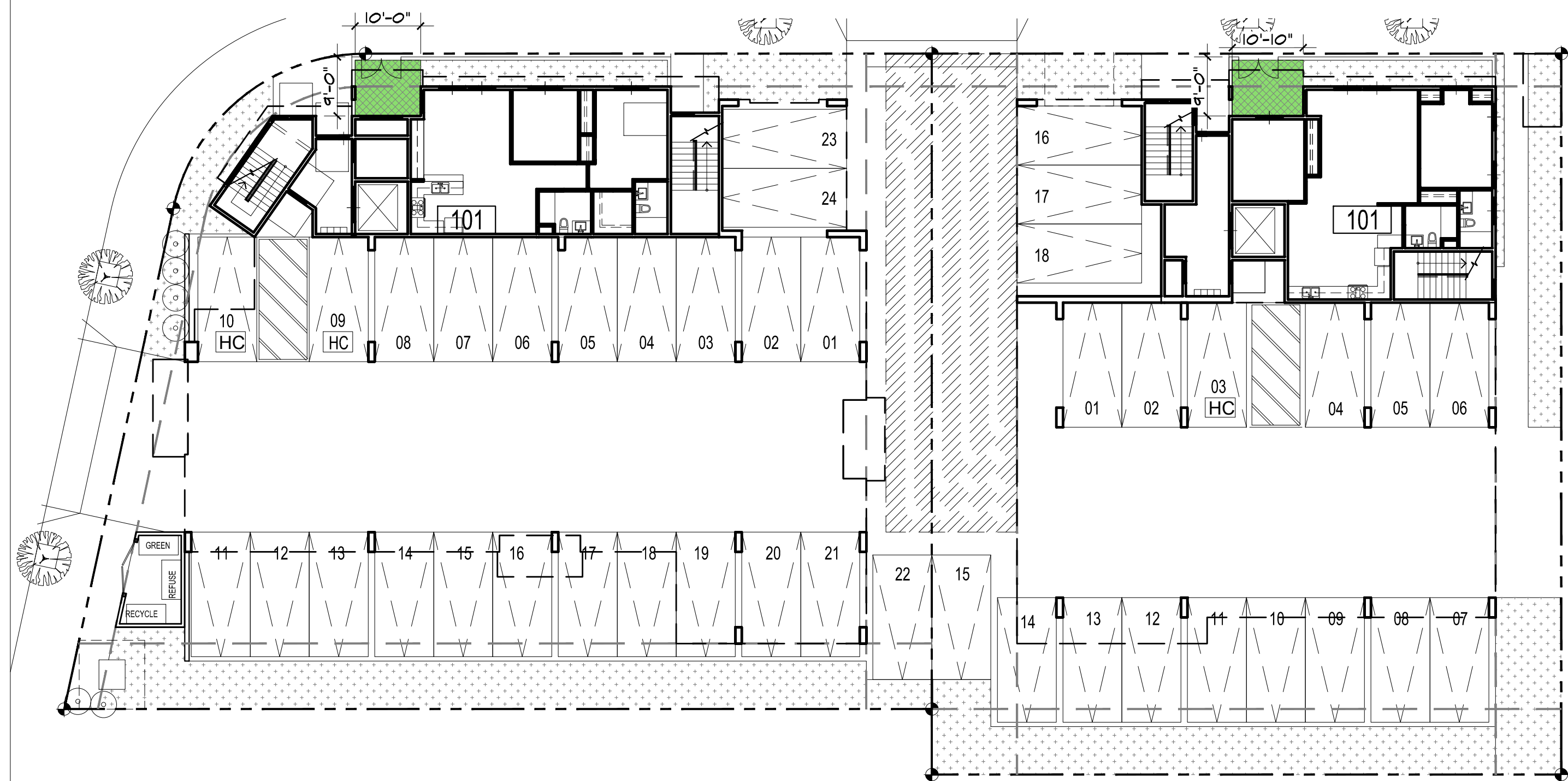
21250 MAIN STREET – LOT A SUMMARY OF OPEN SPACES			21240 MAIN STREET – LOT B SUMMARY OF OPEN SPACES		
FLOOR	SPACE	AREA	FLOOR	SPACE	AREA
1 ST	PRIVATE	90 S.F.	1 ST	PRIVATE	98 S.F.
	COMMON	924 S.F.		COMMON	1,788 S.F.
TOTAL 1ST FLOOR:			2,900 S.F.		
2 ND	PRIVATE	393 S.F.	2 ND	PRIVATE	280 S.F.
	USEABLE	792 S.F.		USEABLE	893 S.F.
TOTAL 2ND FLOOR:			2,358 S.F.		
3 RD	PRIVATE	391 S.F.	3 RD	PRIVATE	275 S.F.
TOTAL 3RD FLOOR:			666 S.F.		
TOTAL OPEN SPACE PROVIDED:			5,924 S.F.		



2 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



3 THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

Architect:

ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA CALIFORNIA 90717
PHONE: 424-263-5888
email: artashai@gmail.com

Copyright:
This drawing is the property of
DESIGNER, and it is not to be
reproduced or copied in whole or
part. It is not to be used for any
other project and is to be returned
upon request. The DESIGNER retains
all copyrights for this document.

Owner:

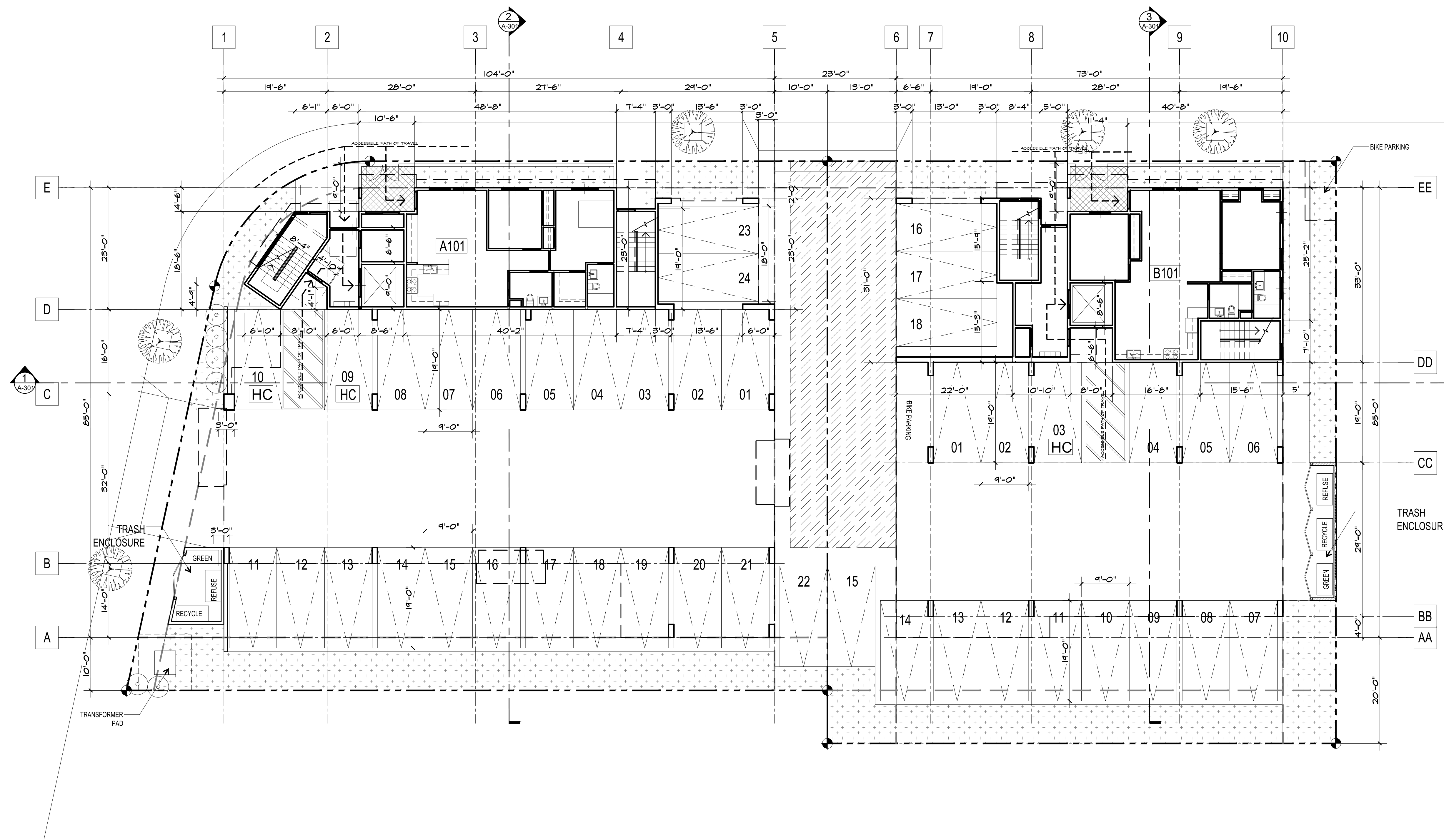
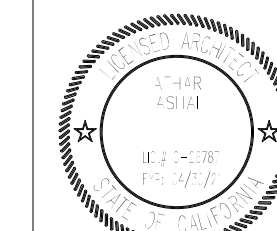
NANCY KIM

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title :
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION :
APN: 7334-002-007
APN: 7334-002-008



1 **FIRST FLOOR PLAN**
SCALE: 3/32" = 1'-0"

TRASH CALCULATIONS FOR RESIDENTIAL

RESIDENTIAL / COMMERCIAL (RETAIL) CALCULATIONS
REQUIRED:
40% REFUSE/40% RECYCLE/20% ORGANICS
CUBIC YARD CALCULATIONS
(28) 2 BEDROOM = 56 BEDROOMS X 0.25 CUBIC YARD = 14 CUBIC YARD
(32) 1 BEDROOM = 32 BEDROOMS X 0.25 CUBIC YARD = 8 CUBIC YARD
CUBIC YARDS TRASH REQ. PER WEEK = 22 CUBIC YARD
SPLIT BY TRASH TYPE
REFUSE (60%) 8.8 CUBIC YARDS
RECYCLABLES (40%) 8.8 CUBIC YARDS
ORGANIC (20%) 8.8 CUBIC YARDS
DUMPSTER PROVIDED
REFUSE: TWO (3 YARD) BIN (SHARED) (PICKUP 2X A WEEK)
RECYCLABLES: TWO (3 YARD) BIN (SHARED) (PICKUP 2X A WEEK)
ORGANICS: ONE (3 YARD) BIN (SHARED) (PICKUP 2X A WEEK)

KEYNOTES

1. APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. (FIRE CODE 505.1)

2. AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL 1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.

3. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS REQUIRED BY FIRE CODE 905.

4. ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/2", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C903, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION.

5. THE MEANS OF EGRESS AND EXIT DISCHARGE SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. (BUILDING CODE 1008.2.1)

6. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN. AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. (BUILDING CODE 1008.3.4)

7. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL

PLAN NOTES

CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES, UNLESS AREAS CONTAINING DUMPSTERS OR CONTAINERS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM. (FIRE CODE 504.3 & 504.3.4)

WALL TYPES

TYPE OF CONSTRUCTION I & V-A OCCUPANCY TYPE A ₁ , R ₁ , S ₁			
TAG	LINE STYLE	DESCRIPTION	DETAIL
1	[Solid line]	10" - 12" THICK CONCRETE WALL - 3 HOUR RATED	[Detail symbol]
2	[Dashed line]	1 HOUR RATED CORRIDOR WALL	[Detail symbol]
3	[Dotted line]	2 HOUR RATED SHAFT WALL	[Detail symbol]
4	[Cross-hatched line]	1 HOUR RATED PARTY WALL	[Detail symbol]
	[Thin solid line]	NON-RATED WALL	[Detail symbol]

Rev. #	Date/Issue	Notes
1		
2		
3		

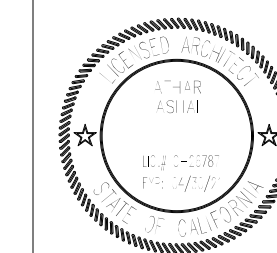
Sheet Title:
FIRST FLOOR PLAN

Scale: AS NOTED Job Number: J-1908
Date: Aug2021 Sheet Number:
Drawn: orkihous **A-101**
Check'd: CTV/RRJ

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008

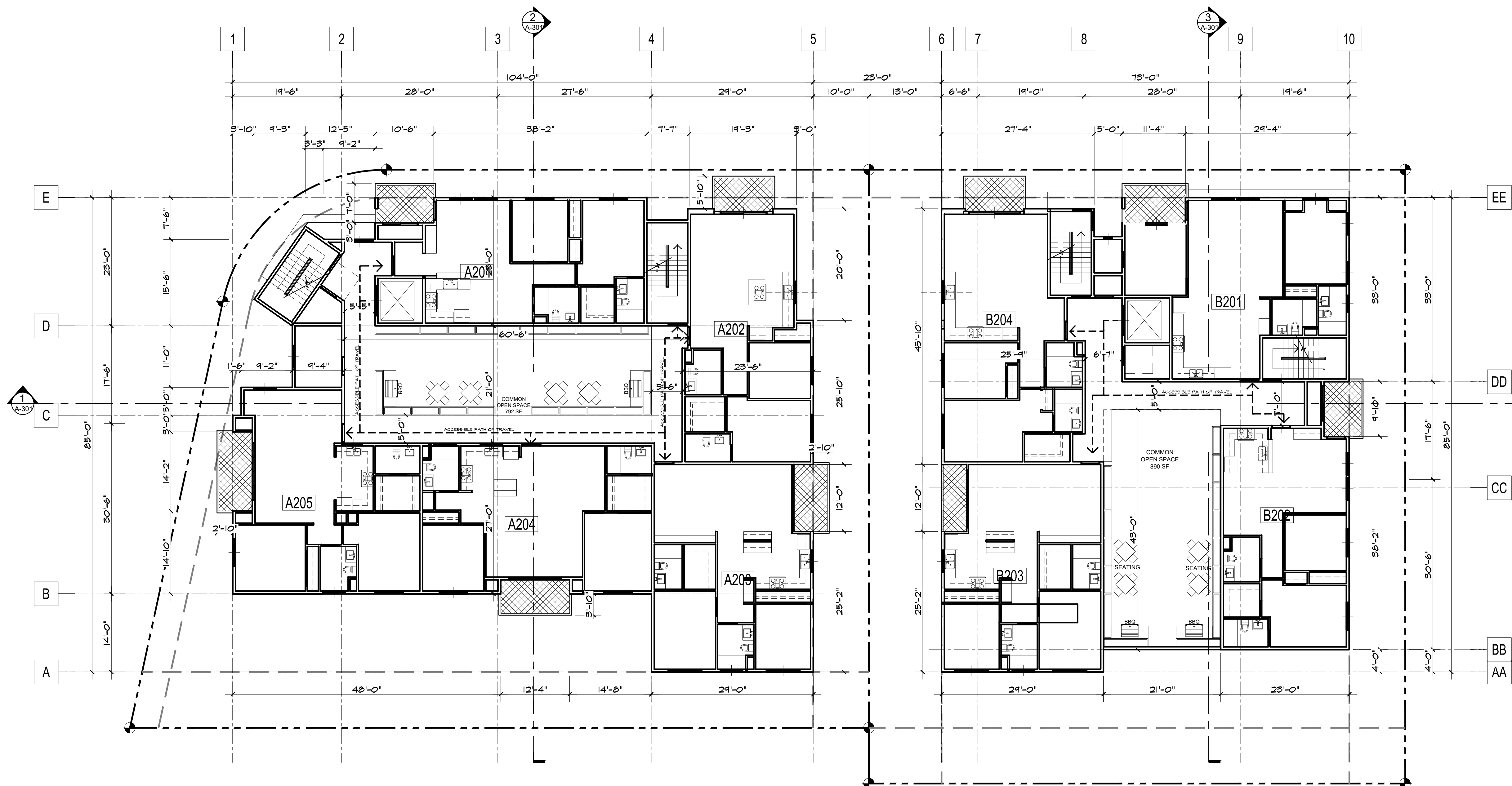


Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title:
SECOND FLOOR PLAN

Scale: AS NOTED Job Number: J-1908
Date: Aug2021 Sheet Number:
Drawn: orkiaus
Check'd: CTV/RRJ **A-102**

PLOT DATE: 10/20/21



1 SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

KEYNOTES

PLAN NOTES

FIRE ENGINEERING NOTES:

- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. (FIRE CODE 505.1)
- AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL 1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.
- PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS REQUIRED BY FIRE CODE 506.
- ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/2", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C500, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION.
- THE MEANS OF EGRESS AND EXIT DISCHARGE SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FLOOR-CANDLE AT THE WALKING SURFACE LEVEL. (BUILDING CODE 1008.2.1)
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN. AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. (BUILDING CODE 1008.3.4)

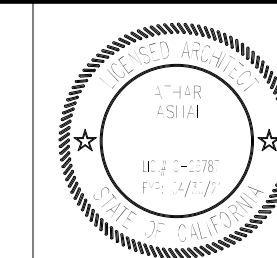
WALL TYPES

TYPE OF CONSTRUCTION I & V-A OCCUPANCY TYPE A ₂ /R ₂ /S ₂			
TAG	LINE STYLE	DESCRIPTION	DETAIL
		10" - 12" THICK CONCRETE WALL + 3 HOUR RATED	
		1 HOUR RATED CORRIDOR WALL	
		2 HOUR RATED SHAFT WALL	
		1 HOUR RATED PARTY WALL	
		NON-RATED WALL	

PROJECT INFORMATION:

Project Title :
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION :
APN: 7334-002-007
APN: 7334-002-008

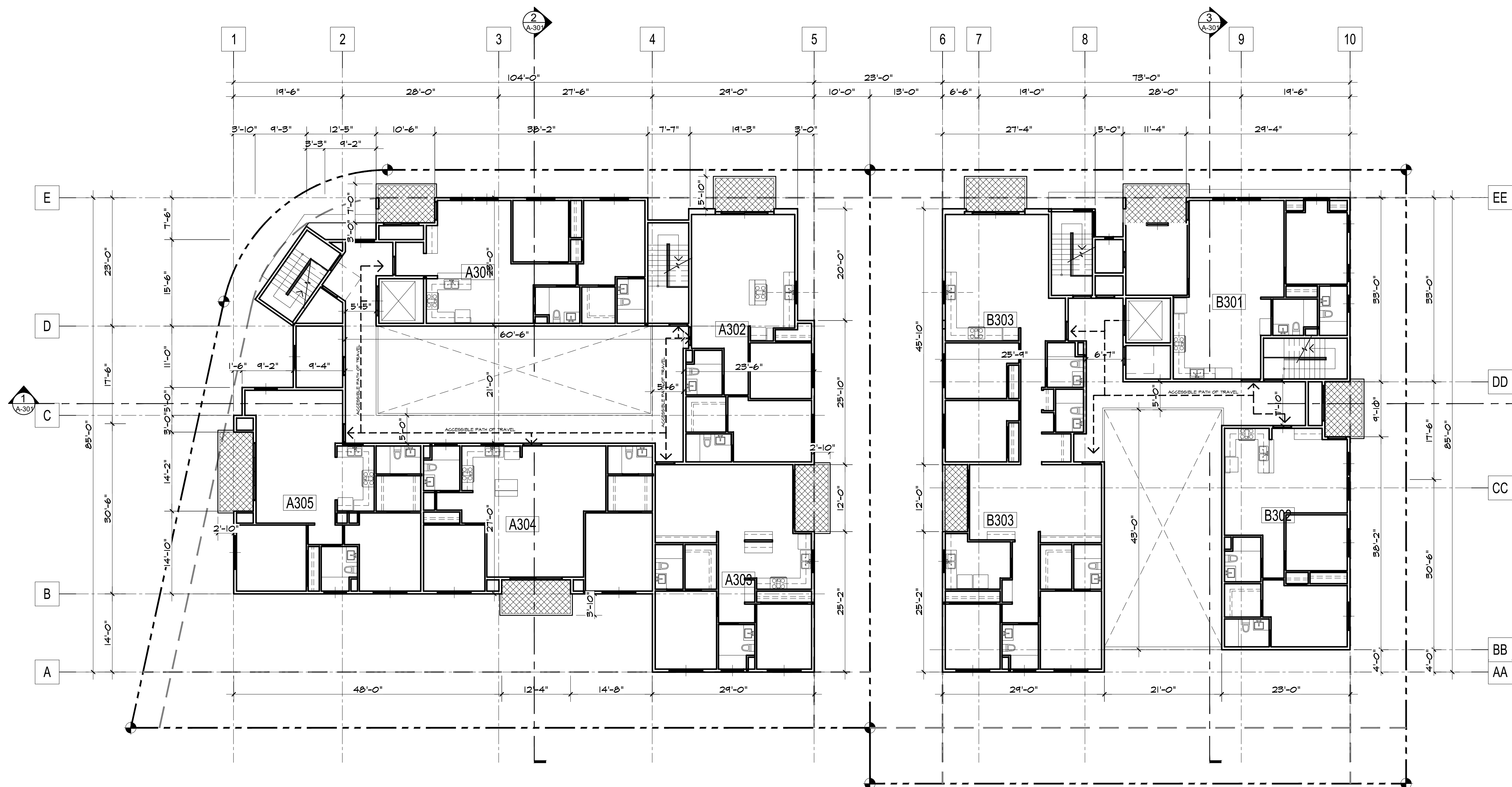


Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title:
THIRD FLOOR PLAN

Scale : AS NOTED Job Number : J-1908
Date : Aug2021 Sheet Number :
Drawn : orkiaus
Check'd : CTV/RRJ

A-103



1 THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

KEYNOTES

PLAN NOTES

FIRE ENGINEERING NOTES:

- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. (FIRE CODE 505.1)
- AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL 1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.
- PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS REQUIRED BY FIRE CODE 506.
- ALL FIRE HYDRANTS SHALL MEASURE 6"X4"X12", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C003, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION.
- THE MEANS OF EGRESS AND EXIT DISCHARGE SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. (BUILDING CODE 1008.2.1)
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN. AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. (BUILDING CODE 1008.3.4)

WALL TYPES

TYPE OF CONSTRUCTION I & V-A OCCUPANCY TYPE A ₁ , R ₁ , S ₁			
TAG	LINE STYLE	DESCRIPTION	DETAIL
A		10" - 12" THICK CONCRETE WALL - 3 HOUR RATED	
B		1 HOUR RATED CORRIDOR WALL	
C		2 HOUR RATED SHAFT WALL	
D		1 HOUR RATED PARTY WALL	
E		NON-RATED WALL	

Architect:

ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA CALIFORNIA 90717
PHONE: 424-263-5888
email: artashai@gmail.com

Copyright:
This drawing is the property of
DESIGNER, and it is not to be
reproduced or copied in whole or
part. It is not to be used for any
other project and is to be returned
upon request. The DESIGNER retains
all copyrights for this document.

Owner:

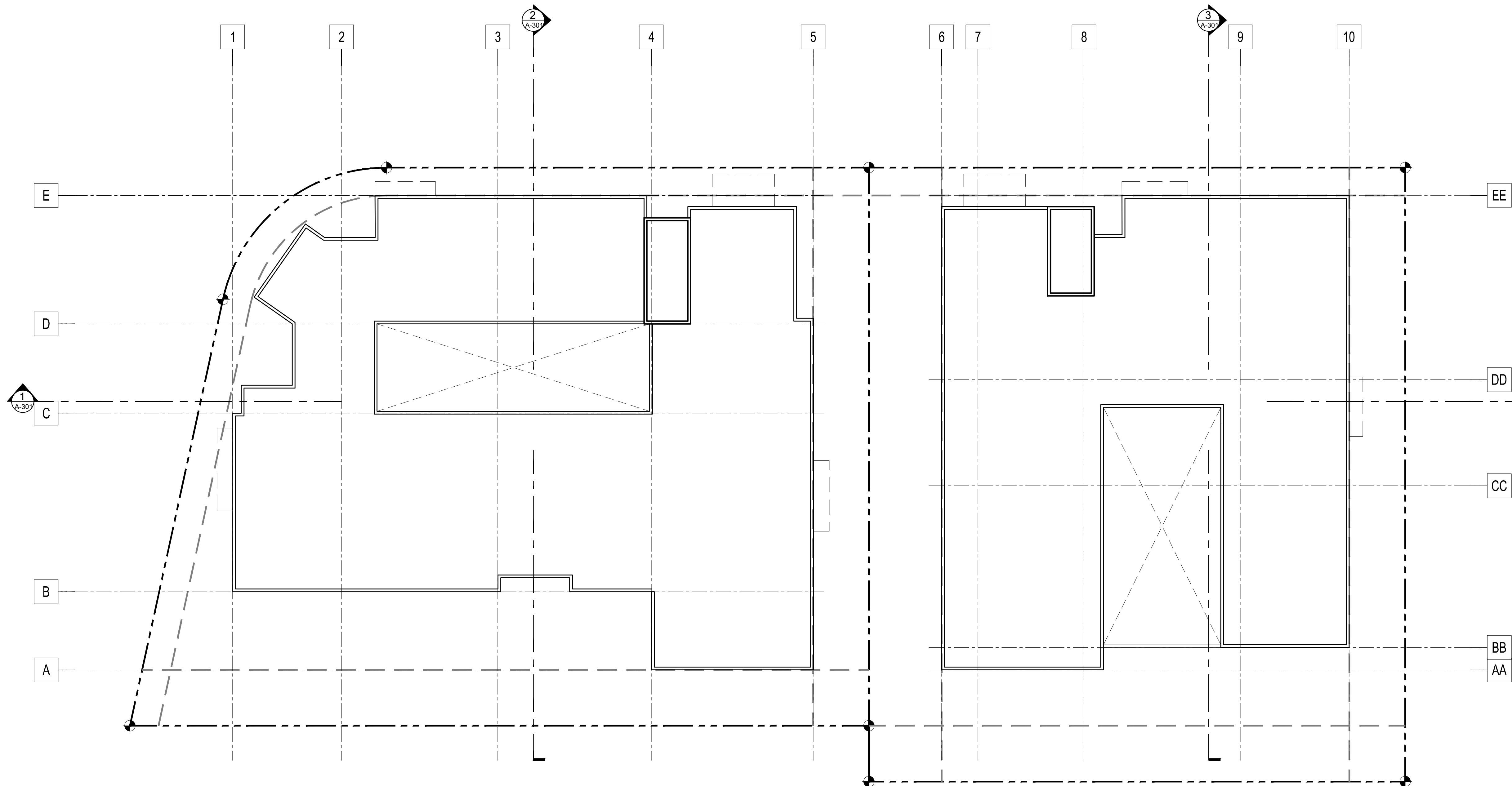
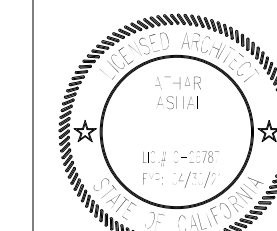
NANCY KIM

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title :
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION :
APN: 7334-002-007
APN: 7334-002-008



1 ROOF PLAN
SCALE: 3/32" = 1'-0"

KEYNOTES

PLAN NOTES

FIRE ENGINEERING NOTES:

- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. (FIRE CODE 505.1)
- AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL 1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 508. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.
- PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS REQUIRED BY FIRE CODE 508.
- ALL FIRE HYDRANTS SHALL MEASURE 6"X4"X12", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C603, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION.
- THE MEANS OF EGRESS AND EXIT DISCHARGE SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. (BUILDING CODE 1008.2.1)
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN. AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. (BUILDING CODE 1008.3.4)

WALL TYPES

TYPE OF CONSTRUCTION I & V-A OCCUPANCY TYPE A ₂ R ₂ S ₂			
TAG	LINE STYLE	DESCRIPTION	DETAIL
1		10" - 12" THICK CONCRETE WALL - 3 HOUR RATED	
2		1 HOUR RATED CORRIDOR WALL	
3		2 HOUR RATED SHAFT WALL	
4		1 HOUR RATED PARTY WALL	
		NON-RATED WALL	

Rev. # Date/Issue Notes

Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title :

ROOF PLAN

Scale : AS NOTED Job Number : J-1908

Date : Aug2021 Sheet Number :

Drawn : orkihous

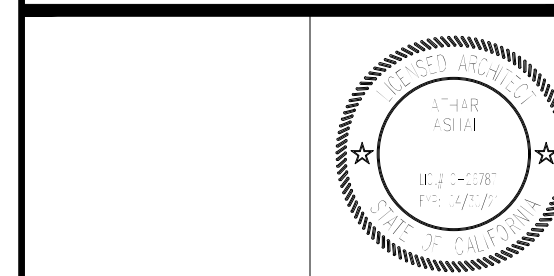
Check'd : CTV/RRJ

A-104

PROJECT INFORMATION:

Project Title :
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION :
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title :
**BUILDING A-
UNIT PLANS**

Scale : AS NOTED Job Number : J-1908
Date : Aug2021 Sheet Number :
Drawn : arkhaus
Check'd : CTV/RRJ

A-111

PLOT DATE: 10/20/21

GENERAL NOTES

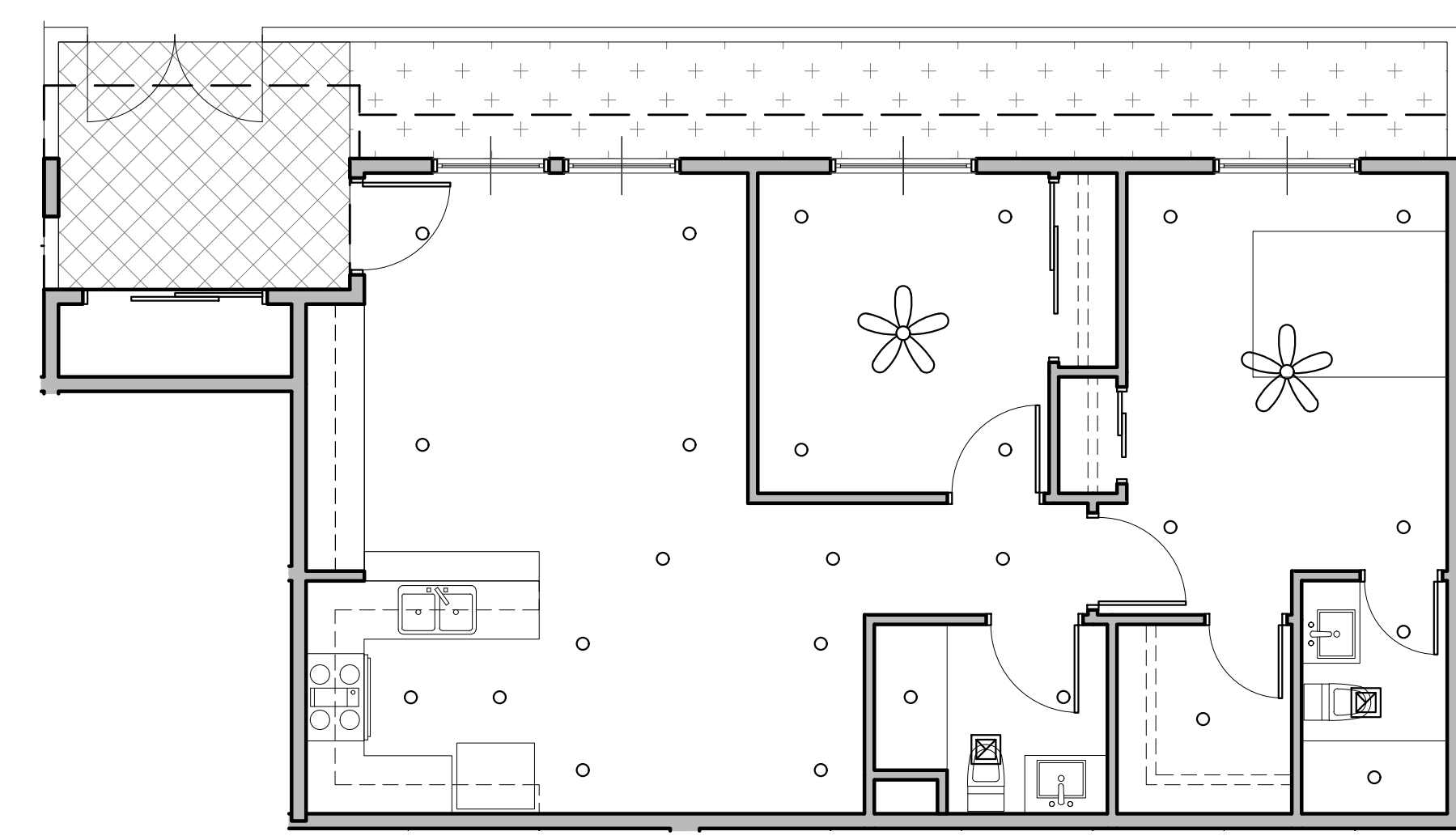
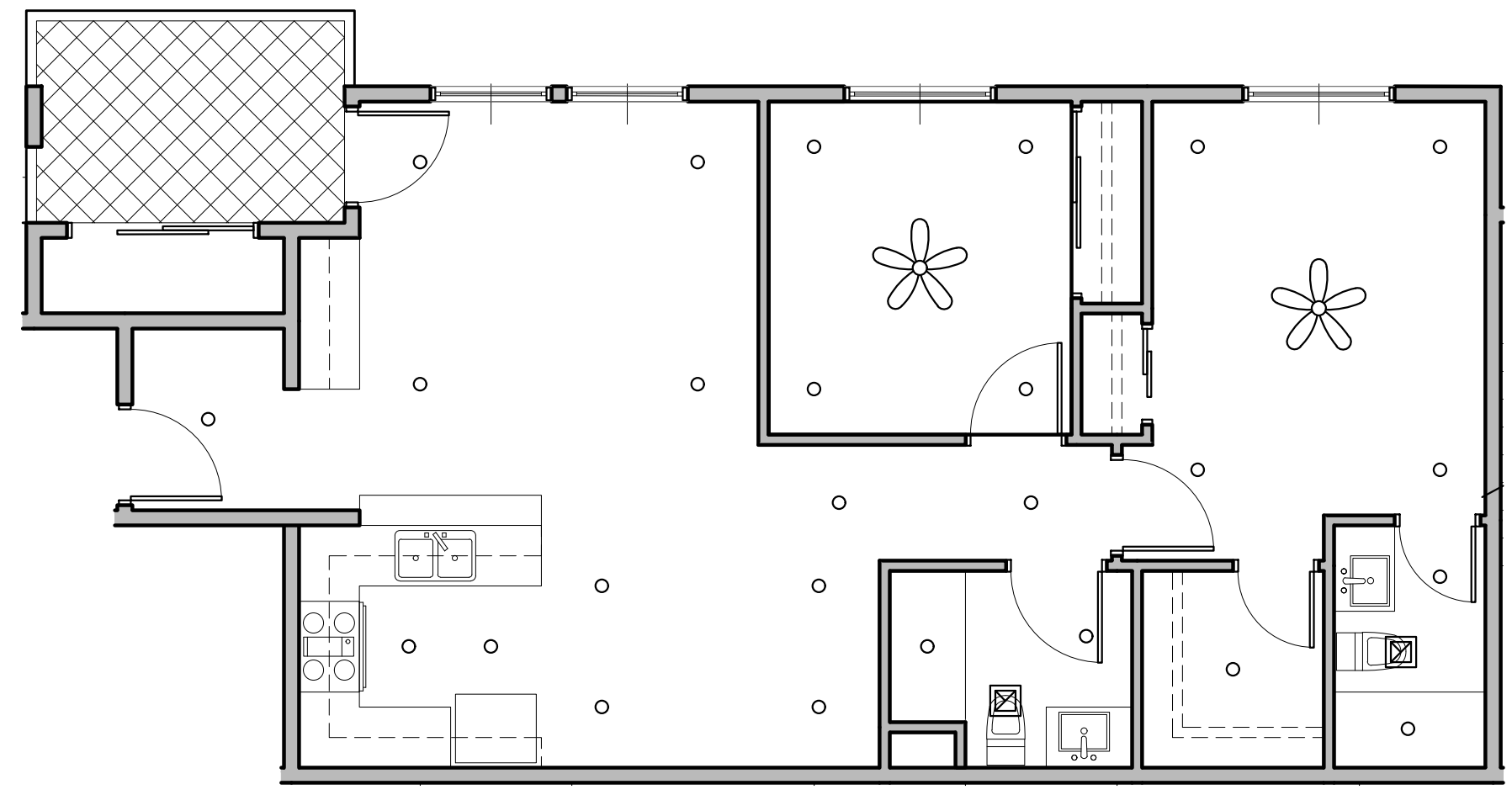
1. DWELLING UNITS ACCESSIBILITY. REFER TO SHEET A-
2. COMMON AND PUBLIC AREAS ACCESSIBILITY. REFER TO SHEETS A- AND A-
3. ALL TUB/SHOWER COMBOS WILL BE UTILIZED FIBERGLASS.
4. WALLS ARE PERMITTED TO BE OF NON-RATED CONSTRUCTION EXCEPTS AS GRAPHICALLY NOTED ON BUILDING COMPOSITE FLOOR PLANS.
5. UNITS SHALL HAVE AT LEAST A MINIMUM LEAKAGE OF 0.30 CFM60 PER SQUARE FOOT OF ENCLOSURE.
6. WATER HEATER UNIT MODEL SEE PLUMBING SCHEDULE
7. RECESSED LIGHTING SHALL BE "BOXED IN" AT FIRE RATED FLOOR/C/LG CONDITIONS
8. DIMENSIONS ARE MEASURED FROM FACE OF STUD (POS) UNLESS NOTED OTHERWISE.

UNIT PLAN LEGEND

ELEMENT	DESCRIPTION
TYPE A	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SATIN LEVEL FIN
TYPE B	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SEMI GLOSS LEVEL 4 FIN
TYPE C	EXTERIOR SOFFIT 5/8" GYP BOARD TYPR X - TAPE, TEXTURE STUCCO FINISH
[Symbol]	LIMIT OF SOFFIT ABOVE - HEIGHT PER FLOOR PLAN. REFER TO DET 14 & 15A--
[Symbol]	FLOOR LEVEL AT DOORS SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THRESHOLD AT THE DOORWAY PER C.B.C. SECTION 1008.1.6 AND 1132A. 4.1
[Symbol]	FLOOR MATERIAL FLUSH TRANSITION
[Symbol]	INTERIOR ELEVATION KEY
[Symbol]	LIVING ROOM CARPET FLOOR FINISH - CEILING HEIGHT
[Symbol]	DOOR NUMBER - REFER TO DOOR SCHEDULE
[Symbol]	WINDOW TYPE - REFER TO WINDOW SCHEDULE
[Symbol]	RECESSED LIGHT FIXTURE (AT AND IC RATED)
[Symbol]	CEILING FAN
[Symbol]	SUPPLY AIR REGISTER
[Symbol]	SUPPLY AIR SIDE WALL REGISTER
[Symbol]	RETURN AIR REGISTER
[Symbol]	RETURN AIR SIDE WALL REGISTER
[Symbol]	EXHAUST AIR REGISTER / FAN - ENERGY STAR COMPLIANT - SEE MECH
[Symbol]	SMOKE DETECTOR
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	WALL TYPE SYMBOL - SEE SCHEDULE ON SHEET A- AND A--

UNIT PLAN KEYNOTES

1. DOUBLE BOWL SINK WITH GARAGE DISPOSAL & HOLE FOR DISHWASHER AIR GAP. PROVIDE ADAPTABLE REQUIREMENTS WHERE NOTED. REFER TO SCHEDULE OF FINISHES.
2. UNDER-COUNTER 1" - 2" WIDE DISHWASHER (BOSCH) ADA OR APPROVED EQUAL. ENERGY STAR CERTIFIED. PROVIDE ADAPTABLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
3. REFRIGERATOR SPACE. PROVIDE COLD WATER STUB-OUT IN RECESSED WALL BOX FOR ICE MAKER. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY. PROVIDE ADAPTABLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
4. FREE STANDING RANGE AND OVER THE RANGE MICROWAVE (BOTH ENERGY STAR CERTIFIED) - VERIFY AND INSTALL APPLIANCES PER MANUFACTURER'S REQUIREMENTS. PROVIDE ADAPTABLE REQUIREMENTS. PROVIDE 15" BREADBOARD EA SIDE.
5. 24" DEEP BASE CABINET WITH COUNTERTOP
6. 12" DEEP UPPER CABINET
7. ENERGY STAR WASHER AND DRYER - STACKED
8. VOID SPACE. FILL IN WITH INSULATION
9. ULTRA-LOW FLUSH TOILET - REFER TO DETAIL FOR ACCESSIBILITY REQUIREMENTS
10. 32" x 60" TUB/SHOWER - VERIFY UNIT DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING
11. RECESSED MEDICINE CABINET. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY
12. FUTURE 6" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
13. FUTURE 42" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
14. ELECTRIC PANEL - REFER TO ELECTRICAL DRAWINGS FOR SOME INFORMATION. HOLE AND SHELF LOCATE POLE 16" ABOVE FINISH FLOOR. PROVIDE 2x6 BLOCKING WITHIN
15. STUB BAY AT EACH END & CENTER OF POLE FOR POLE HARDWARE. VERIFY SHELF BRACKETS & PROVIDE CONCEALED 2x6 BLOCKING ACCORDINGLY.
16. GRAB BAR
17. CEILING MOUNTED HORIZONTAL FAN COIL UNIT. (SEE MECHANICAL PLANS) VERIFY UNIT DIMENSIONS AND CLEARANCE REQUIREMENTS PRIOR TO FRAMING AND SETTING DROPPED CEILING HEIGHT. PROVIDE MINIMUM REQUIRED MANUFACTURE ACCESS PANEL COMPATIBLE WITH F.C.U. PAINT PANEL TO MATCH CEILING.
18. METAL THRESHOLD. FLOOR LEVEL CHANGES GREATER THAN 1/2" AT DOORWAYS SHALL BE BEVELED OR SLOPED NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). REFER TO DETAILS AT ENTRY DOOR AT BALCONY SLIDING DOOR
19. UNIT DOOR BELL AT 48" AFF - SEE ELEC
20. ACCESSIBLE COMPLIANT LAVATORY
21. UNIT SIGNAGE
22. WATER SUB METER AT HIGH LEVEL INSIDE CEILING SPACE WITH CEILING ACCESS - SEE PLUMBING
23. DUAL REMOTE WATER METER DISPLAY. MOUNT HT. AT 4'-0" ABOVE FINISH FLOOR TO TOP OF DISPLAY
24. 15" MIN. BREADBOARD
25. ENERGY STAR TANKLESS WATER HEATER. SEE PLUMBING DRAWINGS. VERIFY REQUIRED CLEARANCES WITH MFR PRIOR TO FRAMING
26. SMOKE DETECTOR
27. CARBON MONOXIDE DETECTOR
28. 42" HIGH GUARD RAIL - REFER TO EXTERIOR ELEVATIONS.
29. EXTERIOR LOW WALL - REFER TO EXTERIOR ELEVATION
30. 1HR RATED SHAFT - CONTRACTOR TO VERIFY WITH MECHANICAL DRAWINGS
31. EXTERIOR EXHAUST LOUVER - SEE MECHANICAL
32. GUTTER
33. SCUPPER
34. CEILING BREAK
35. 2" WIDE PVC SOFFIT VENT - SEE DETAIL
36. NOT USED

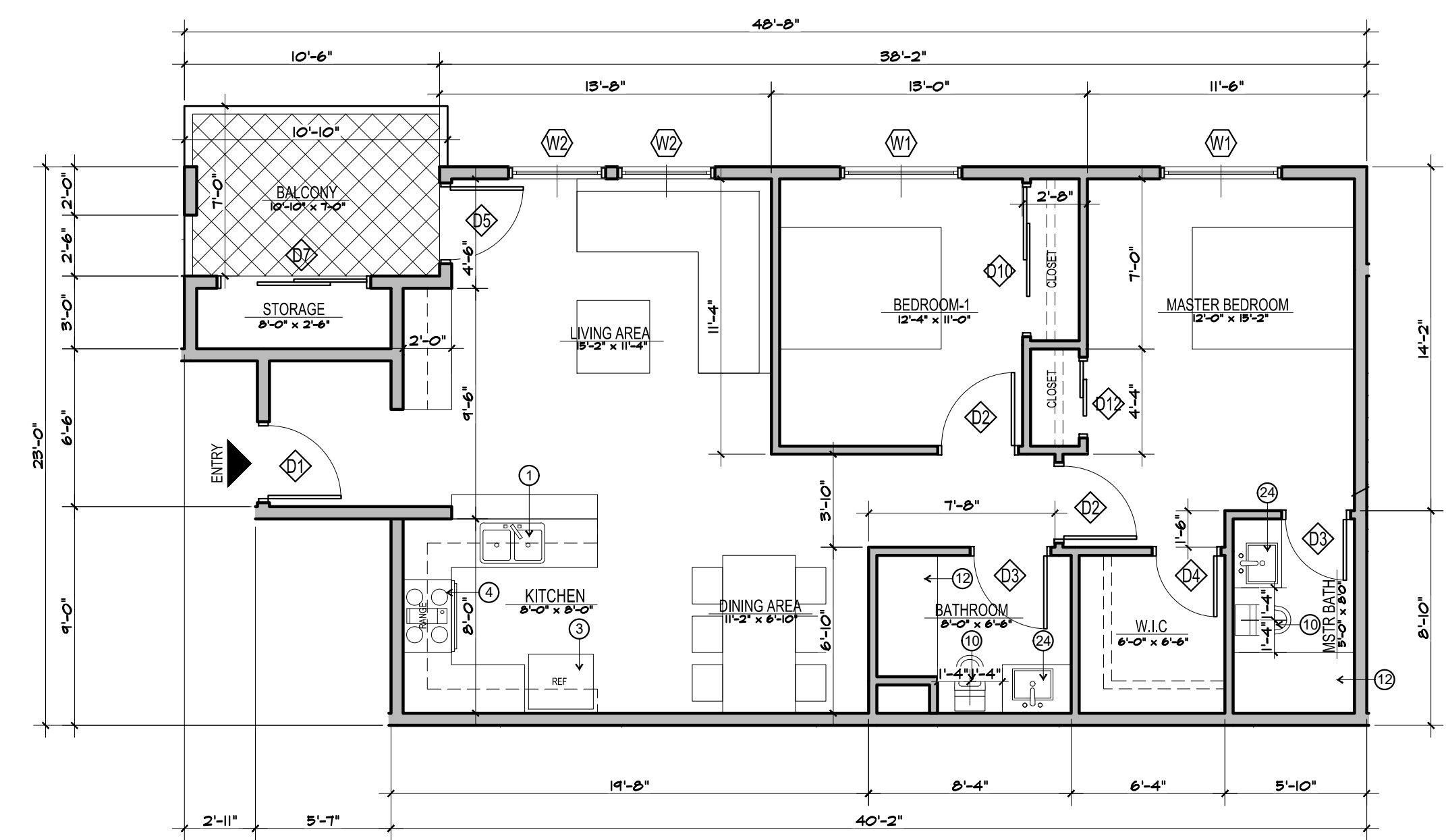


UNIT PLAN 201, 301 - REFLECTED CEILING PLAN

SCALE 3/16" = 1'-0" 04

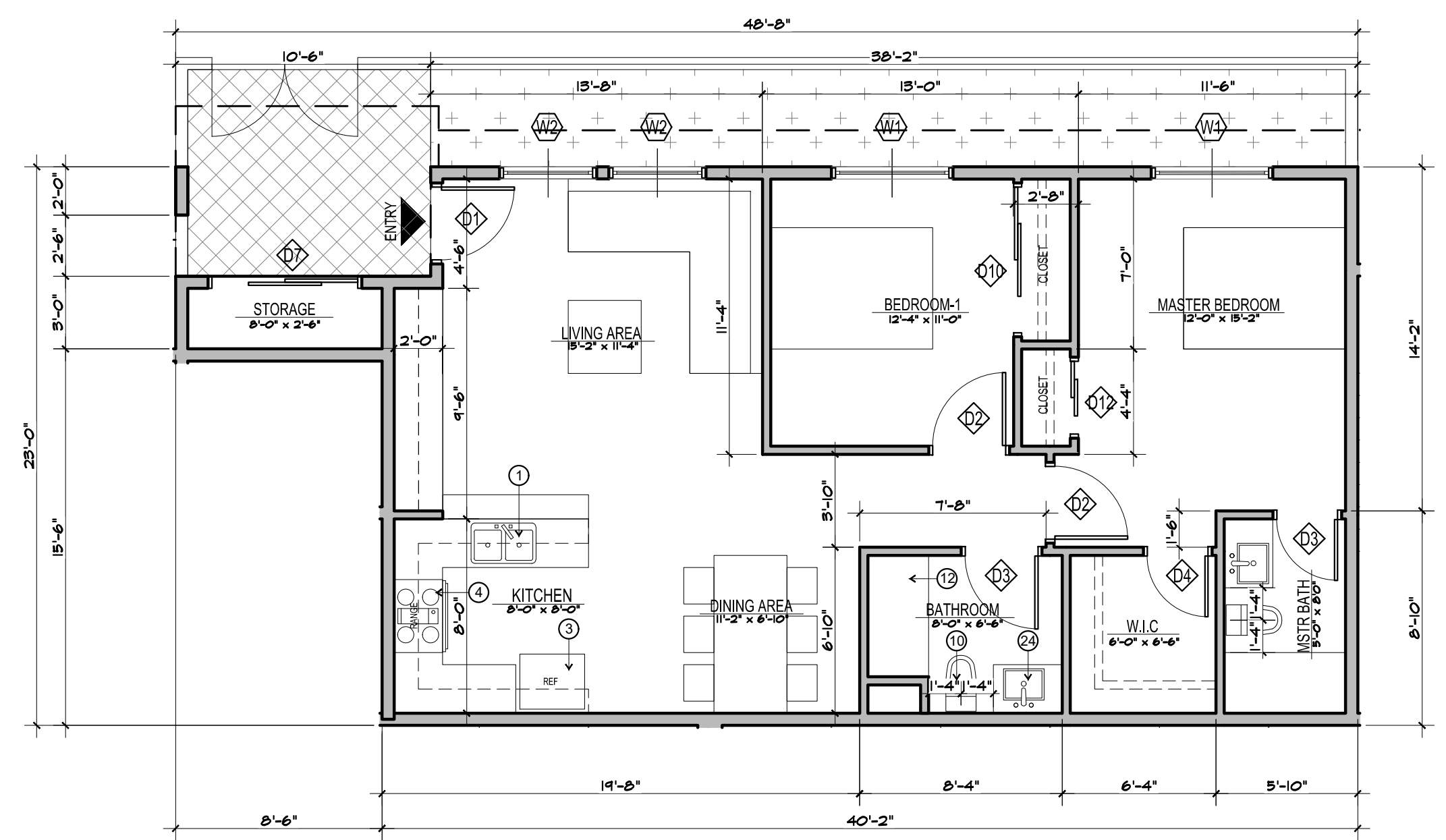
UNIT PLAN 101 - REFLECTED CEILING PLAN

SCALE 3/16" = 1'-0" 02



UNIT PLAN 201, 301 - FLOOR PLAN

SCALE 3/16" = 1'-0" 03



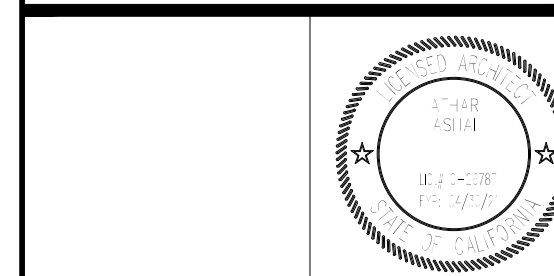
UNIT PLAN 101 - FLOOR PLAN

SCALE 3/16" = 1'-0" 01

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		

Sheet Title:
**BUILDING A-
UNIT PLANS**

Scale:	AS NOTED	Job Number:	J-1908
Date:	Aug2021	Sheet Number:	
Drawn:	arkihaus	A-112	
Checked:	CTV/RRJ		

PLOT DATE: 10/20/2021

GENERAL NOTES

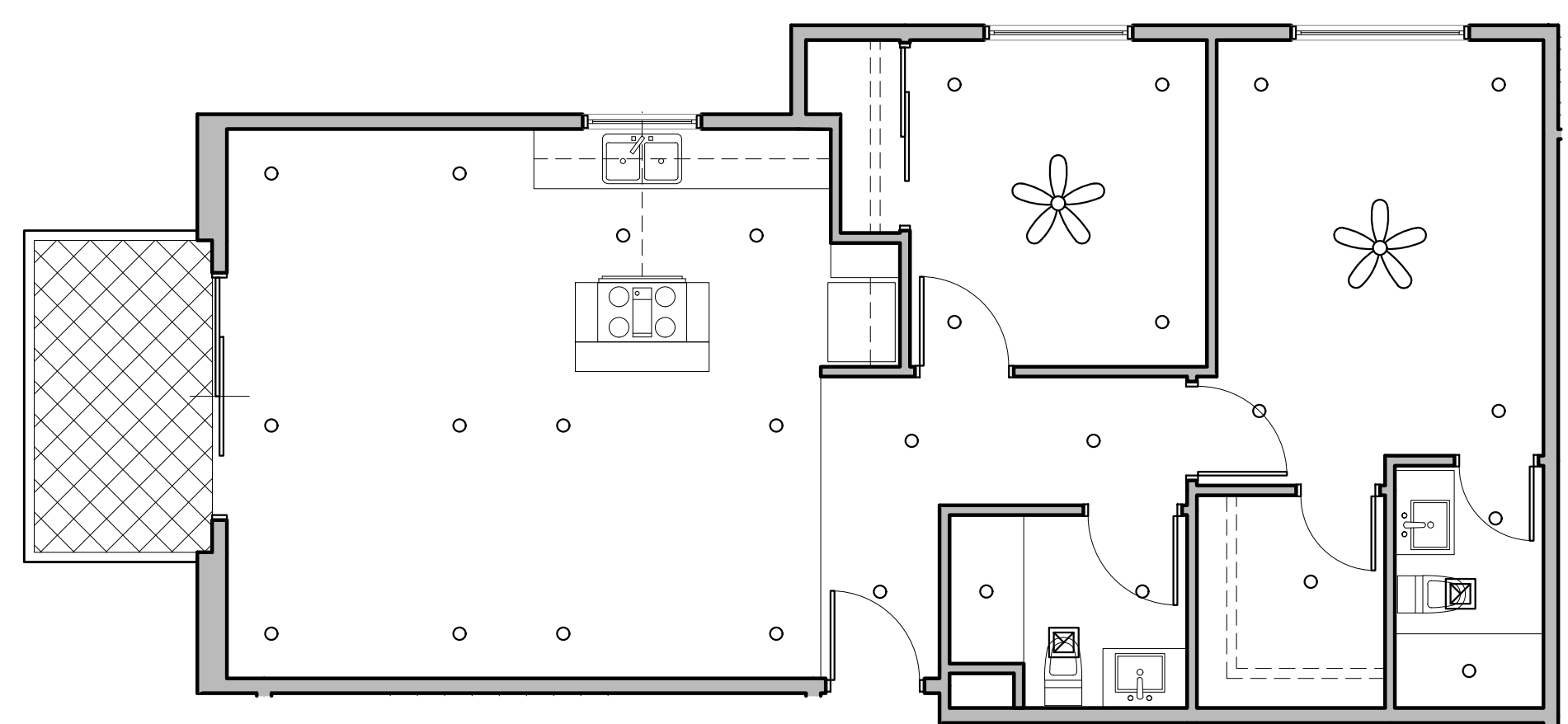
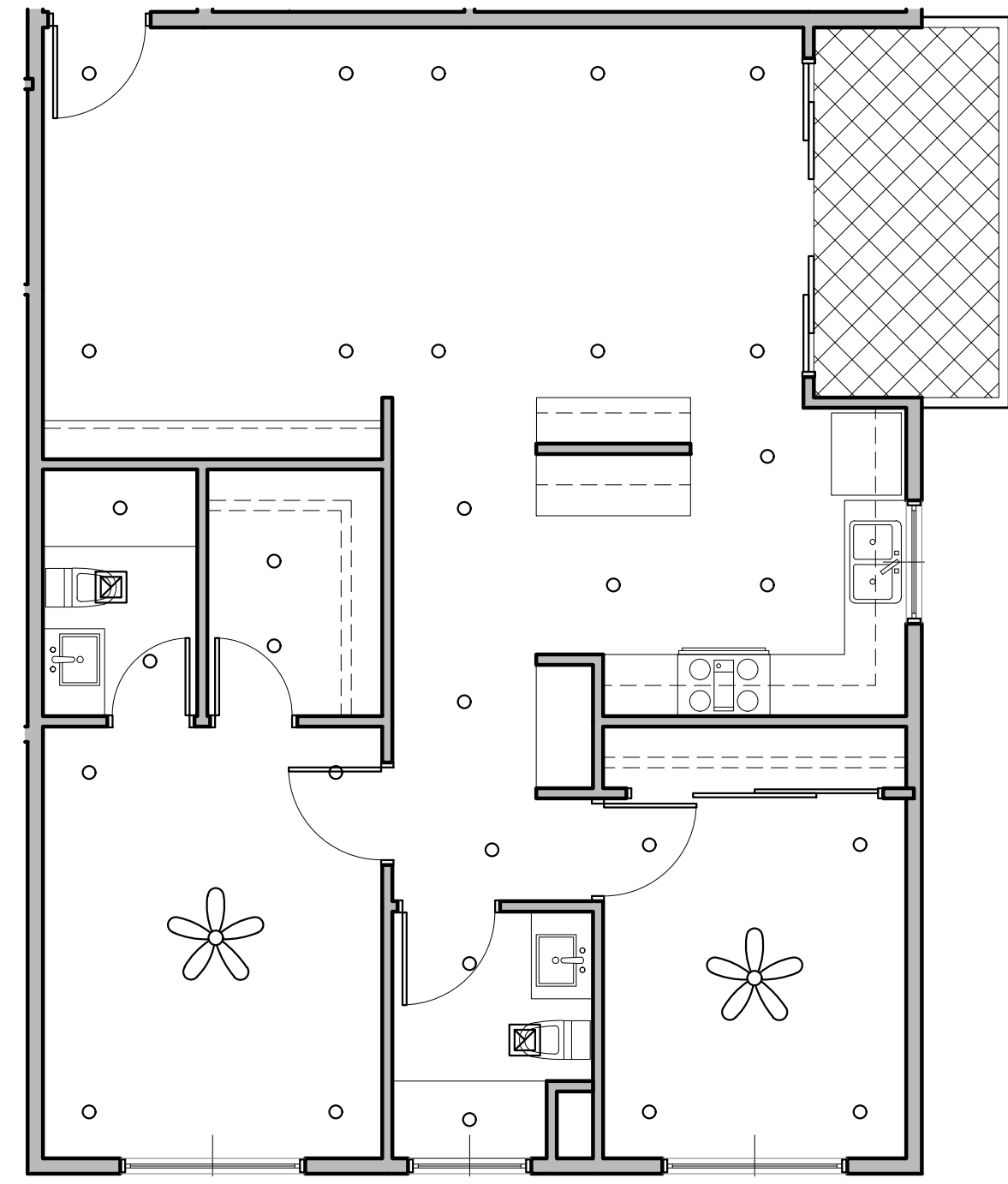
1. DWELLING UNITS ACCESSIBILITY. REFER TO SHEET A-
2. COMMON AN PUBLIC AREAS ACCESSIBILITY. REFER TO SHEETS A- AND A-
3. ALL TUB SHOWER COMBOS WILL BE UTILIZED FIBERGLASS.
4. WALLS ARE PERMITTED TO BE OF NON-RATED CONSTRUCTION EXCEPTS AS GRAPHICALLY NOTED ON BUILDING COMPOSITE FLOOR PLANS.
5. UNITS SHALL HAVE AT LEAST A MINIMUM LEAKAGE OF 0.30 CFM50 PER SQUARE FOOT OF ENCLOSURE.
6. WATER HEATER UNIT MODEL. SEE PLUMBING SCHEDULE.
7. RECESSED LIGHTING SHALL BE "BOXED IN" AT FIRE RATED FLOOR/C/G CONDITIONS.
8. DIMENSIONS ARE MEASURED FROM FACE OF STUD (FOS) UNLESS NOTED OTHERWISE.

UNIT PLAN LEGEND

ELEMENT	DESCRIPTION
TYPE A	5/8" GYPSUM BOAR - TAPE, TEXTURE AND PAINT - SATIN LEVEL FIN
TYPE B	5/8" GYPSUM BOAR - TAPE, TEXTURE AND PAINT - SEMI GLOSS LEVEL 4 FIN
TYPE C	EXTERIOR SOFFIT 5/8" GYP BOARD TYPR X - TAPE, TEXTURE STUCCO FINISH
	LIMIT OF SOFFIT ABOVE - HEIGHT PER FLOOR PLAN. REFER TO DET 14 & 15A-
	FLOOR LEVEL AT DOORS SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THRESHOLD AT THE DOORWAY PER C.B.C. SECTION 1008.1.6 AND 1132A. 4.1
	FLOOR MATERIAL FLUSH TRANSITION
	INTERIOR ELEVATION KEY
	LIVING ROOM CARPET ROOM NAME FLOOR FINISH CEILING HEIGHT
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WINDOW TYPE - REFER TO WINDOW SCHEDULE
	RECESSED LIGHT FIXTURE (AT AND IC RATED)
	CEILING FAN
	SUPPLY AIR REGISTER
	SUPPLY AIR SIDE WALL REGISTER
	RETURN AIR REGISTER
	RETURN AIR SIDE WALL REGISTER
	EXHAUST AIR REGISTER / FAN - ENERGY STAR COMPLIANT - SEE MECH
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	WALL TYPE SYMBOL - SEE SCHEDULE ON SHEET A- AND A-

UNIT PLAN KEYNOTES

1. DOUBLE BOWL SINK W/ WITH GARAGE DISPOSAL & HOLE FOR DISHWASHER AIR GAP. PROVIDE ADAPTABLE REQUIREMENTS WHERE NOTED. REFER TO SCHEDULE OF FINISHES.
2. UNDER-COUNTER W - 24" WIDE DISHWASHER (BOSCH 36" ADA OR APPROVED EQUAL. ENERGY STAR CERTIFIED). PROVIDE ADAPTABLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
3. REFRIGERATOR SPACE. PROVIDE COLD WATER STUB-OUT IN RECESSED WALL BOX FOR ICE MAKER. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY. PROVIDE ADAPTABLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
4. FREE STANDING RANGE AND OVER THE RANGE MICROWAVE (BOTH ENERGY STAR CERTIFIED) - VERIFY AND INSTALL APPLIANCES PER MANUFACTURER'S REQUIREMENTS. PROVIDE ADAPTABLE REQUIREMENTS. PROVIDE 15" BREADBOARD EA SIDE.
5. 24" DEEP BASE CABINET WITH COUNTERTOP
6. 12" DEEP UPPER CABINET
7. ENERGY STAR WASHER AND DRYER - STACKED
8. VOID SPACE. FILL IN WITH INSULATION
9. ULTRA-LOW FLUSH TOILET - REFER TO DETAIL FOR ACCESSIBILITY REQUIREMENTS
10. 32" x 60" TUB SHOWER - VERIFY UNIT DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING
11. RECESSED MEDICINE CABINET. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY
12. FUTURE 42" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
13. FUTURE 42" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
14. ELECTRIC PANEL - REFER TO ELECTRICAL DRAWINGS FOR SOME INFORMATION
15. HOLE AND SHELF. LOCATE POLE 16" ABOVE FINISH FLOOR. PROVIDE 2x4 BLOCKING WITHIN STUD BAY AT EACH END & CENTER OF POLE FOR POLE HARDWARE. VERIFY SHELF BRACKETS & PROVIDE CONCEALED IN BLOCKING ACCORDINGLY.
16. GRAB BAR
17. CEILING MOUNTED HORIZONTAL FAN COIL UNIT. (SEE MECHANICAL PLANS) VERIFY UNIT DIMENSIONS AND CLEARANCE REQUIREMENTS PRIOR TO FRAMING AND SETTING SLOPED CEILING HEIGHT. PROVIDE MINIMUM REQUIRED MANUFACTURE ACCESS PANEL COMPATIBLE WITH F.C.U. PAINT PANEL TO MATCH CEILING.
18. METAL THRESHOLD. FLOOR LEVEL CHANGES GREATER THAN 1/2" AT DOORWAYS SHALL BE BEVELED OR SLOPED NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). REFER TO DETAILS AT ENTRY DOOR AT BALCONY SLIDING DOOR
19. UNIT DOOR BELL AT 48" AFF - SEE ELEC
20. ACCESSIBLE COMPLIANT LAVATORY
21. UNIT SIGNAGE
22. WATER SUB METER AT HIGH LEVEL INSIDE CEILING SPACE WITH CEILING ACCESS - SEE PLUMBING
23. DUAL REMOTE WATER METER DISPLAY. MOUNT HT. AT 4'-0" ABOVE FINISH FLOOR TO TOP OF DISPLAY
24. 15" MIN. BREADBOARD
25. ENERGY STAR TANKLESS WATER HEATER. SEE PLUMBING DRAWINGS. VERIFY REQUIRED CLEARANCES WITH MFR PRIOR TO FRAMING
26. SMOKE DETECTOR
27. CARBON MONOXIDE DETECTOR
28. 42" HIGH GUARD RAIL - REFER TO EXTERIOR ELEVATIONS.
29. EXTERIOR LOW WALL - REFER TO EXTERIOR ELEVATION
30. 1HR RATED SHAFT - CONTRACTOR TO VERIFY WITH MECHANICAL DRAWINGS
31. EXTERIOR EXHAUST LOUVER - SEE MECHANICAL
32. GUTTER
33. SCUPPER
34. CEILING BREAK
35. 2" WIDE PVC SOFFIT VENT - SEE DETAIL
36. NOT USED

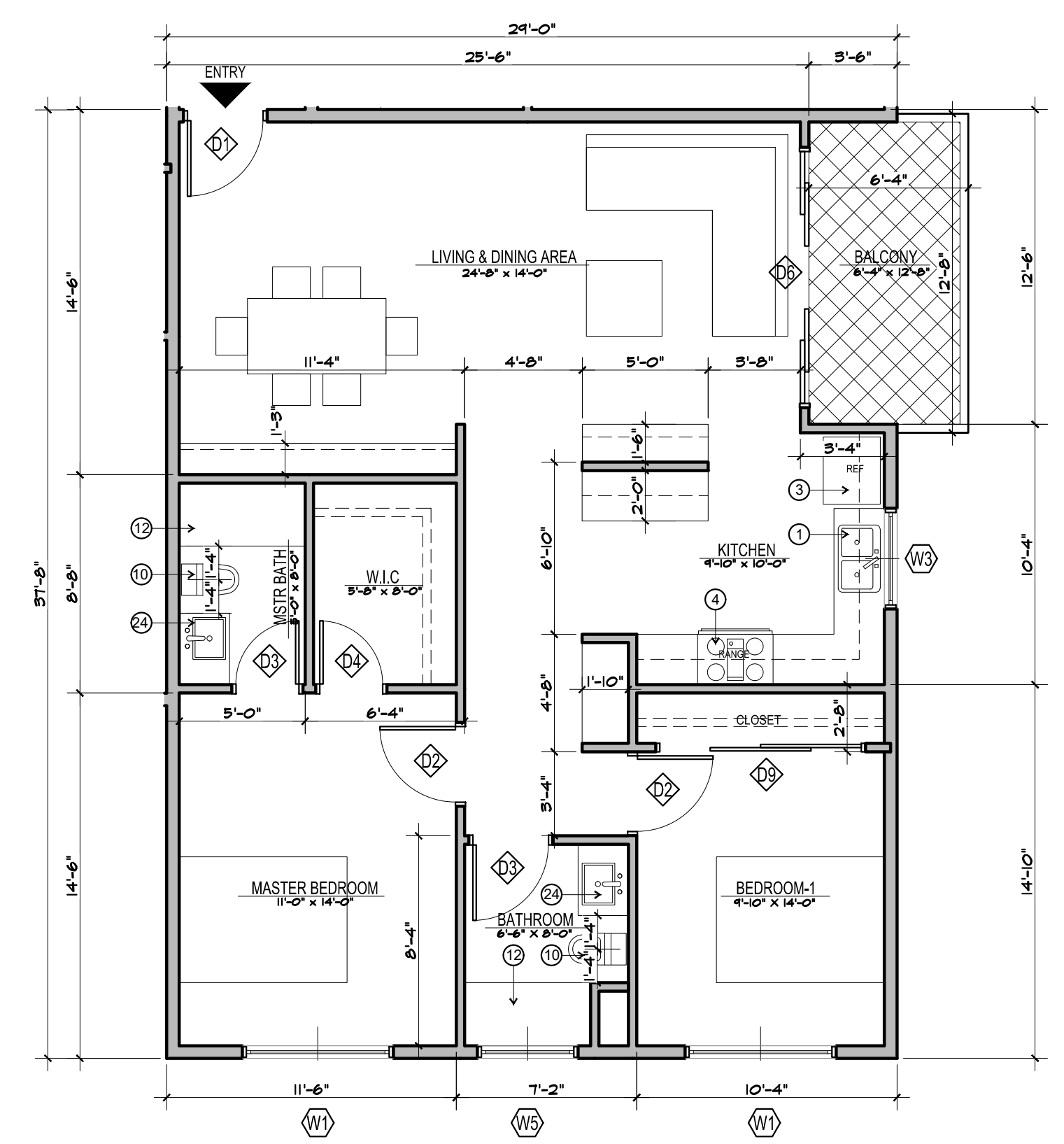


UNIT PLAN 203, 303 - REFLECTED CEILING PLAN

SCALE
3/16" = 1'-0" 04

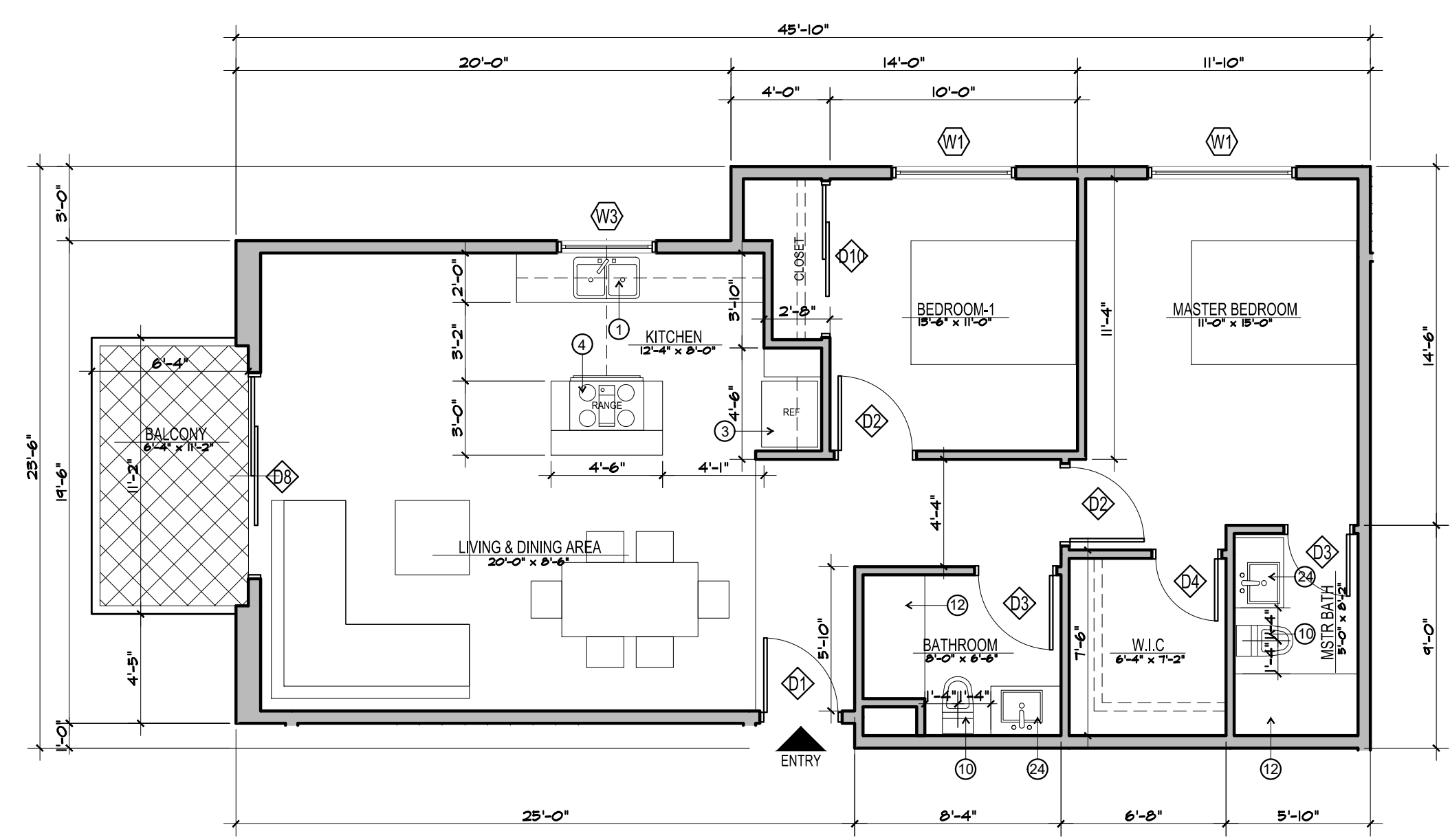
UNIT PLAN 202, 302 - REFLECTED CEILING PLAN

SCALE
3/16" = 1'-0" 02



UNIT PLAN 203, 303 - FLOOR PLAN

SCALE
3/16" = 1'-0" 03



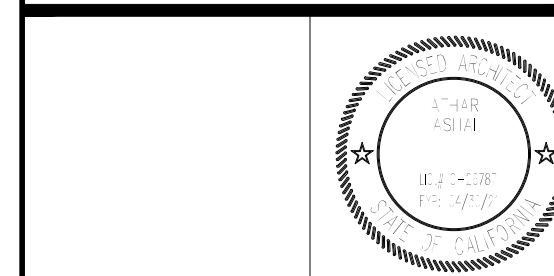
UNIT PLAN 202, 302 - FLOOR PLAN

SCALE
3/16" = 1'-0" 01

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title:
**BUILDING A-
UNIT PLANS**

Scale:	AS NOTED	Job Number:	J-1908
Date:	Aug2021	Sheet Number:	
Drawn:	arkihaus	A-113	
Checked:	CTV/RRJ		

PLOT DATE: 10/20/21

GENERAL NOTES

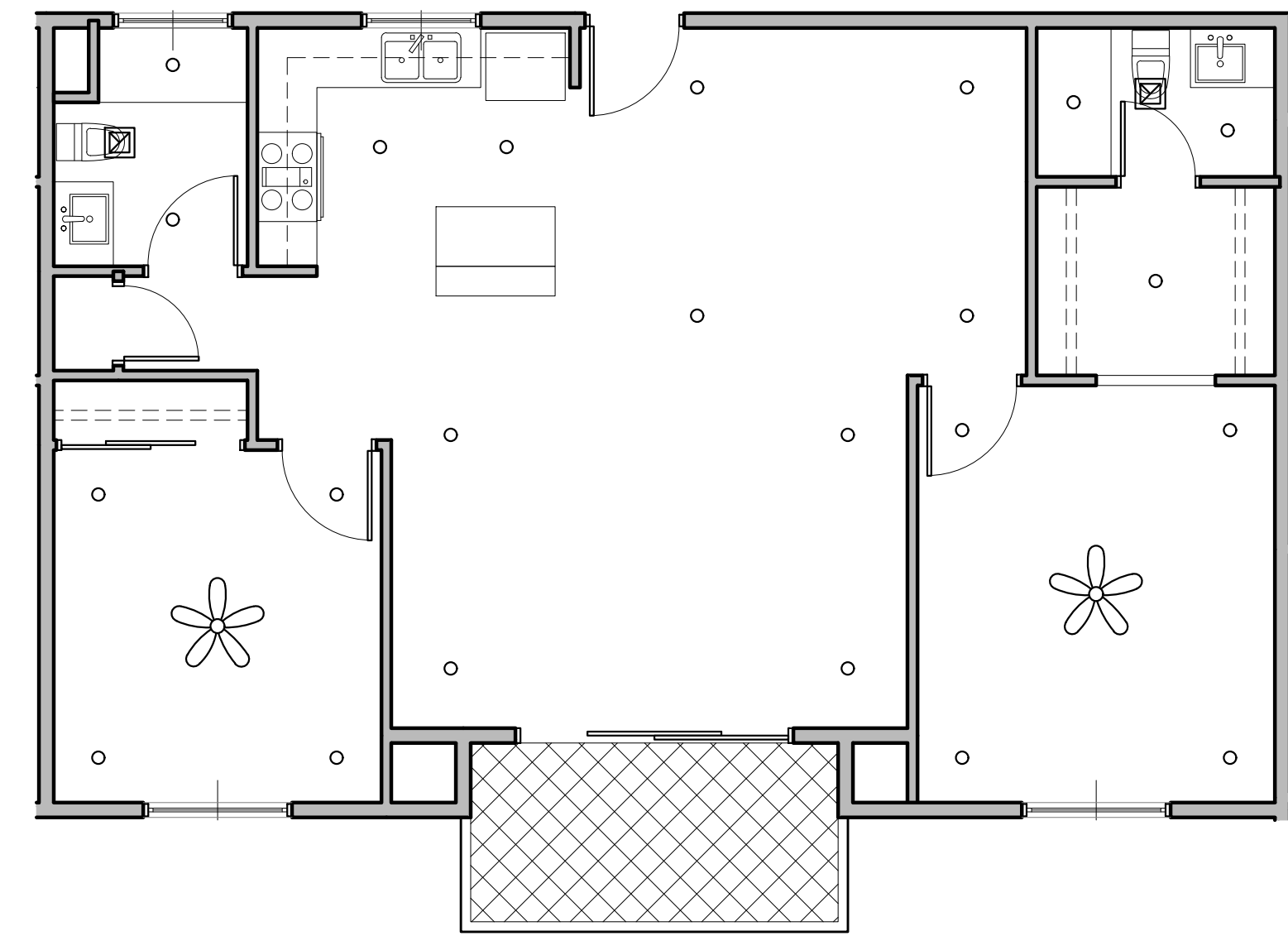
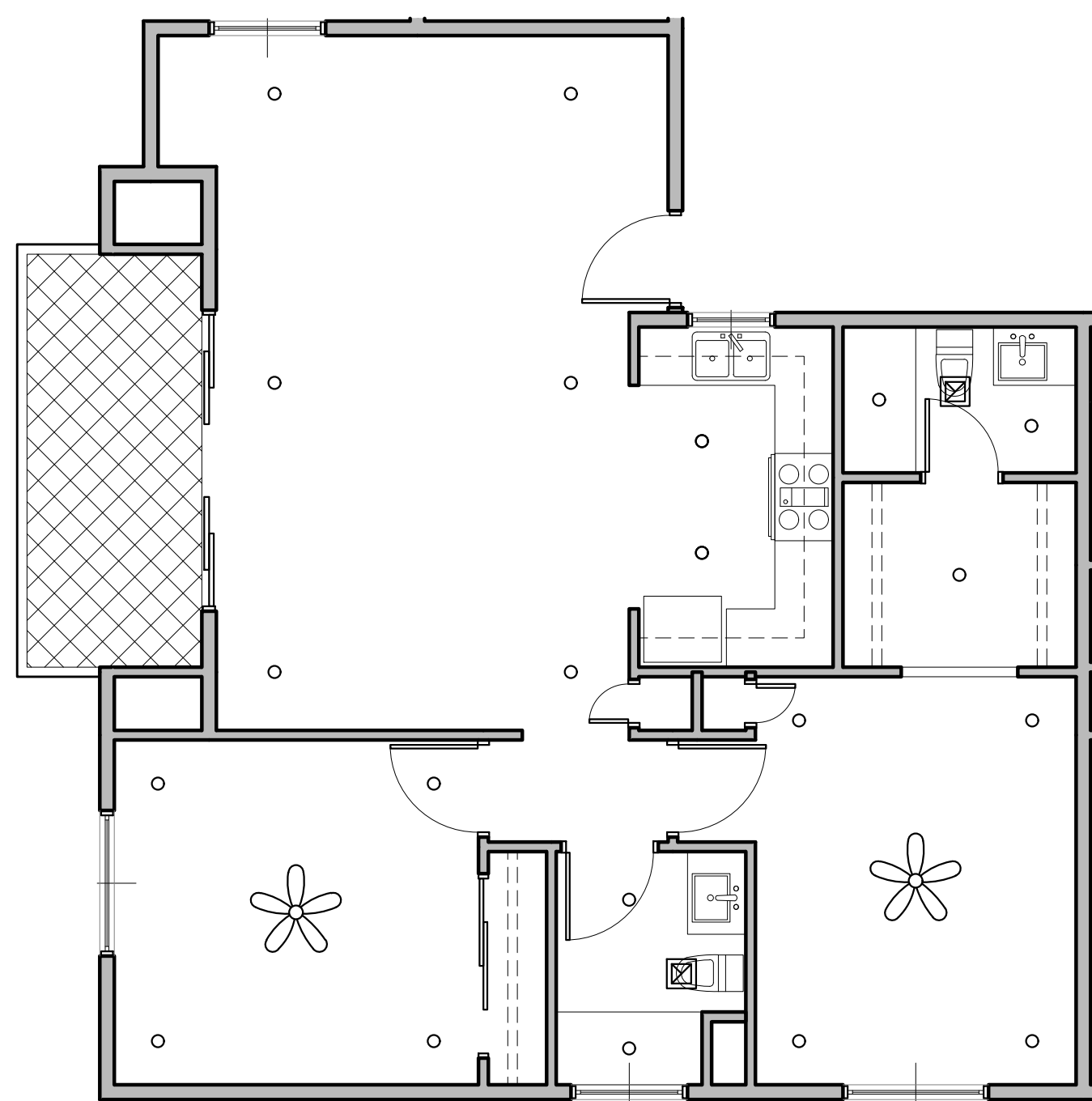
- DWELLING UNITS ACCESSIBILITY. REFER TO SHEET A-
- COMMON AN PUBLIC AREAS ACCESSIBILITY. REFER TO SHEETS A- AND A-
- ALL TUB SHOWER COMBOS WILL BE UTILIZED FBERGLASS.
- WALLS ARE PERMITTED TO BE OF NON-RATED CONSTRUCTION EXCEPTS AS GRAPHICALLY NOTED ON BUILDING COMPOSITE FLOOR PLANS.
- UNITS SHALL HAVE AT LEAST A MINIMUM LEAKAGE OF 0.30 CFM50 PER SQUARE FOOT OF ENCLOSURE.
- WATER HEATER UNIT MODEL. SEE PLUMBING SCHEDULE.
- RECESSED LIGHTING SHALL BE "BOXED IN" AT FIRE RATED FLOOR/CLG CONDITIONS.
- DIMENSIONS ARE MEASURED FROM FACE OF STUD (FOS) UNLESS NOTED OTHERWISE.

UNIT PLAN LEGEND

ELEMENT	DESCRIPTION
TYPE A	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SATIN LEVEL FIN
TYPE B	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SEMI GLOSS LEVEL 4 FIN
TYPE C	EXTERIOR SOFFIT 5/8" GYP BOARD TYPR X - TAPE, TEXTURE STUCCO FINISH
	LIMIT OF SOFFIT ABOVE - HEIGHT PER FLOOR PLAN. REFER TO DET 14 & 15A-
	FLOOR LEVEL AT DOORS SHALL NOT BE MORE THAN 1/4" HIGHER THAN THRESHOLD AT THE DOORWAY PER C.B.C. SECTION 1008.1.6 AND 1132A.4.1
	FLOOR MATERIAL FLUSH TRANSITION
	INTERIOR ELEVATION KEY
	ROOM NAME
	FLOOR FINISH
	CEILING HEIGHT
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WINDOW TYPE - REFER TO WINDOW SCHEDULE
	RECESSED LIGHT FIXTURE (AT AND IC RATED)
	CEILING FAN
	SUPPLY AIR REGISTER
	SUPPLY AIR SIDE WALL REGISTER
	RETURN AIR REGISTER
	RETURN AIR SIDE WALL REGISTER
	EXHAUST AIR REGISTER / FAN - ENERGY STAR COMPLIANT - SEE MECH
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	WALL TYPE SYMBOL - SEE SCHEDULE ON SHEET A- AND A-

UNIT PLAN KEYNOTES

- DOUBLE BOWL SINK, W/ WITH GARAGE DISPOSAL & HOLE FOR DISHWASHER AIR GAP. PROVIDE ADAPTIBLE REQUIREMENTS WHERE NOTED. REFER TO SCHEDULE OF FINISHES.
- UNDER-COUNTER 1" - 24" WIDE DISHWASHER (BOSCH 24" ADA OR APPROVED EQUAL. ENERGY STAR CERTIFIED). PROVIDE ADAPTIBLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
- REFRIGERATOR SPACE. PROVIDE COLD WATER STUB-OUT IN RECESSED WALL BOX FOR ICE MAKER. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY. PROVIDE ADAPTIBLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
- FREE STANDING RANGE AND OVER THE RANGE MICROWAVE (BOTH ENERGY STAR CERTIFIED) - VERIFY AND INSTALL APPLIANCES RE MANUFACTURERS REQUIREMENTS. PROVIDE ADAPTIBLE REQUIREMENTS. PROVIDE 15" BREADBOARD EA SIDE.
- 24" DEEP BASE CABINET WITH COUNTERTOP
- 12" DEEP UPPER CABINET
- ENERGY STAR WASHER AND DRYER - STACKED
- VOID SPACE. FILL IN WITH INSULATION
- ULTRA-LOW FLUSH TOILET - REFER TO DETAIL FOR ACCESSIBILITY REQUIREMENTS
- 32" x 60" TUB SHOWER - VERIFY UNIT DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING
- RECESSED MEDICINE CABINET. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY
- FUTURE W/ GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
- FUTURE 42" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
- ELECTRIC PANEL - REFER TO ELECTRICAL DRAWINGS FOR SOME INFORMATION. POLE AND SHELF. LOCATE POLE 6" ABOVE FINISH FLOOR. PROVIDE 2x6 BLOCKING WITHIN
- STUD BAY AT EACH END & CENTER OF POLE. FOR POLE HARDWARE. VERIFY SHELF BRACKETS & PROVIDE CONCEALED 2x6 BLOCKING ACCORDINGLY.
- GRAB BAR
- CEILING MOUNTED HORIZONTAL FAN COIL UNIT. (SEE MECHANICAL PLANS) VERIFY UNIT DIMENSIONS AND CLEARANCE REQUIREMENTS PRIOR TO FRAMING AND SETTING DROPPED CEILING HEIGHT. PROVIDE MINIMUM REQUIRED MANUFACTURE ACCESS PANEL COMPATIBLE WITH F.C.U. PAINT PANEL TO MATCH CEILING.
- METAL THRESHOLD. FLOOR LEVEL CHANGES GREATER THAN 1/2" AT DOORWAYS SHALL BE BEVELED OR SLOPED NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). REFER TO DETAILS AT ENTRY DOOR AT BALCONY SLIDING DOOR
- UNIT DOOR BELL AT 48" AFF - SEE ELEC
- ACCESSIBLE COMPLAINT LAVATORY
- UNIT SIGNAGE
- WATER SUB METER AT HIGH LEVEL INSIDE CEILING SPACE WITH CEILING ACCESS - SEE PLUMBING
- DUAL REMOTE WATER METER DISPLAY. MOUNT HT. AT 4'-0" ABOVE FINISH FLOOR TO TOP OF DISPLAY
- 15" MIN. BREADBOARD
- ENERGY STAR TANKLESS WATER HEATER. SEE PLUMBING DRAWINGS. VERIFY REQUIRED CLEARANCES WITH MFR PRIOR TO FRAMING.
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- 42" HIGH GUARD RAIL - REFER TO EXTERIOR ELEVATIONS.
- EXTERIOR LOW WALL - REFER TO EXTERIOR ELEVATION
- 1HR RATED SHAFT - CONTRACTOR TO VERIFY WITH MECHANICAL DRAWINGS
- EXTERIOR EXHAUST LOUVER - SEE MECHANICAL
- GUTTER
- SCUPPER
- CEILING BREAK
- 2" WIDE PVC SOFFIT VENT - SEE DETAIL
- NOT USED



UNIT PLAN 205, 305 - REFLECTED CEILING PLAN

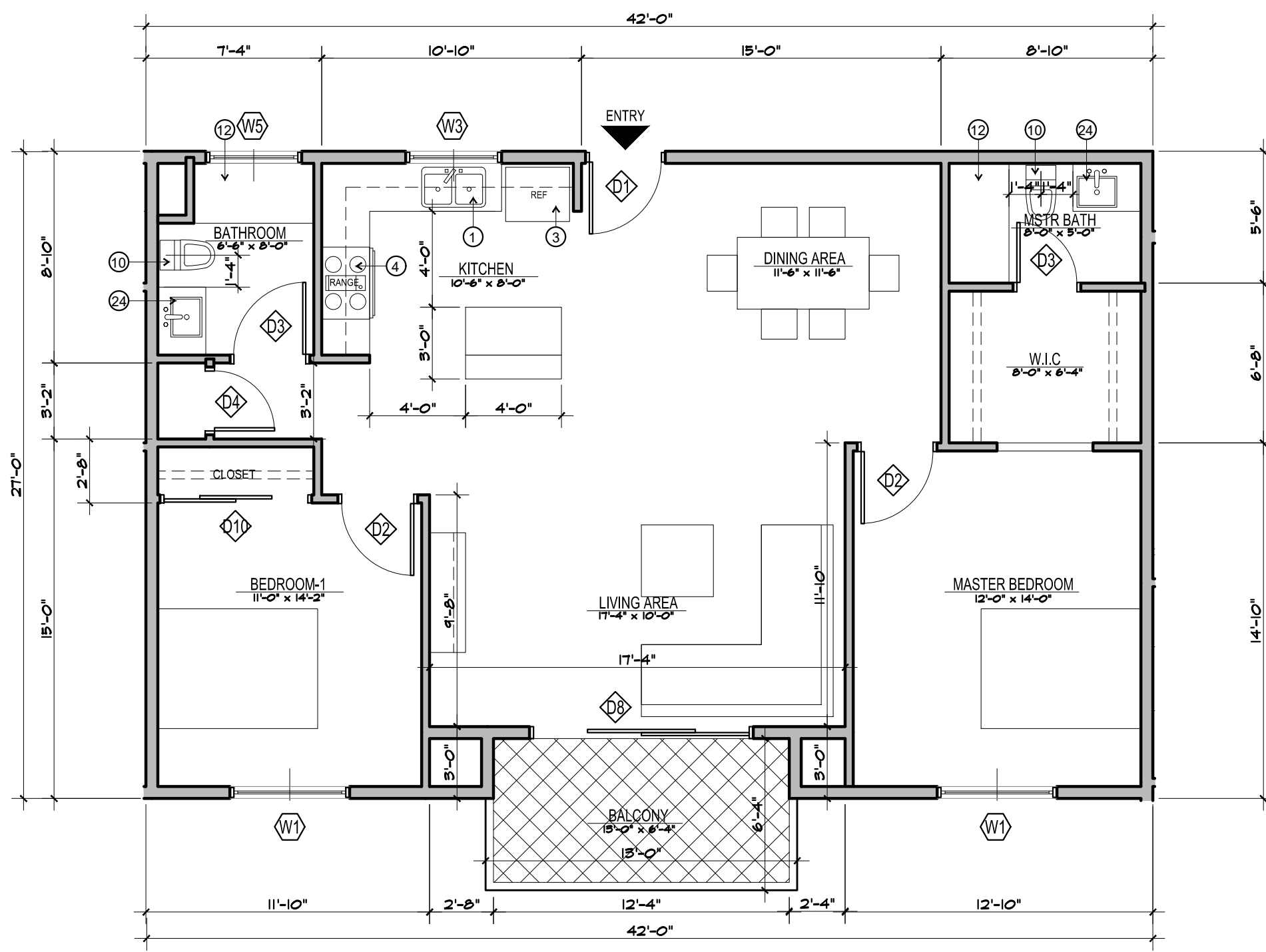
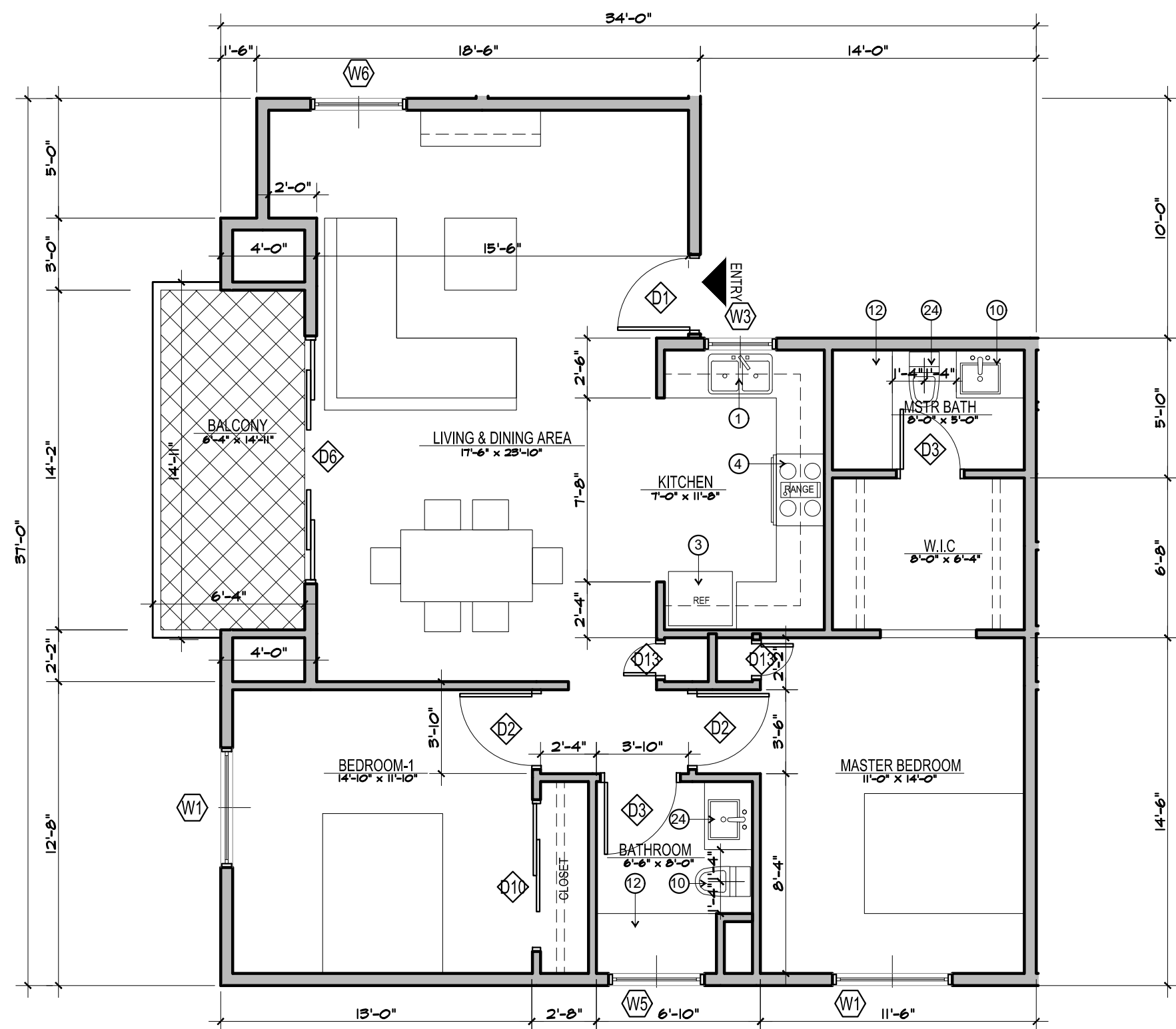
SCALE 3/16" = 1'-0"

04

UNIT PLAN 204, 304 - REFLECTED CEILING PLAN

SCALE 3/16" = 1'-0"

02



UNIT PLAN 205, 305 - FLOOR PLAN

SCALE 3/16" = 1'-0"

03

UNIT PLAN 204, 304 - FLOOR PLAN

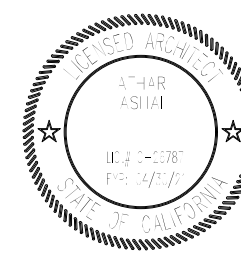
SCALE 3/16" = 1'-0"

01

PROJECT INFORMATION:

Project Title :
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION :
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		

Sheet Title :
**BUILDING B-
UNIT PLANS**

Scale : AS NOTED	Job Number : J-1908
Date : Aug2021	Sheet Number :
Drawn : arkhous	A-121
Check'd : CTV/RRJ	

PLOT DATE: 10/20/21

GENERAL NOTES

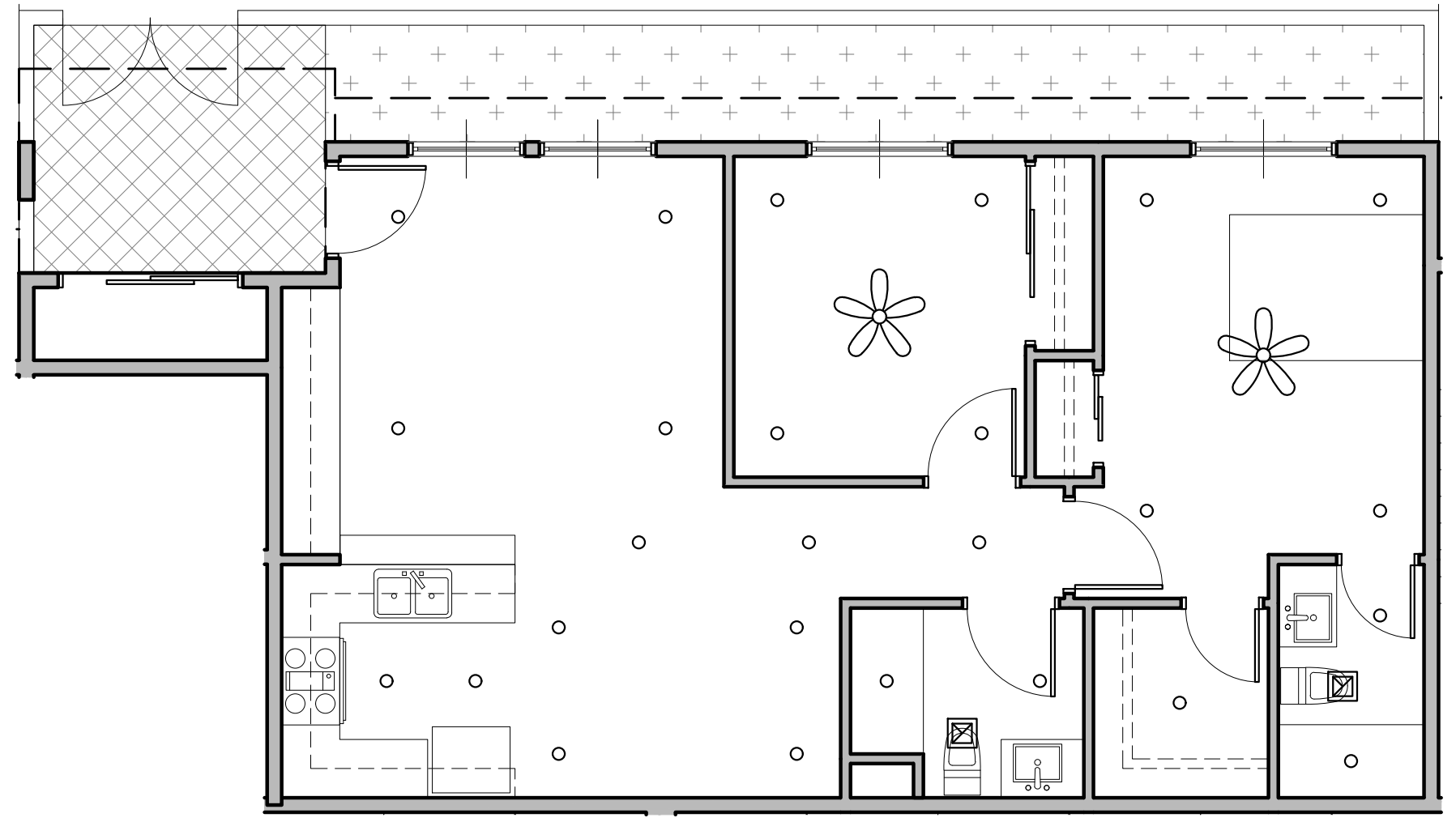
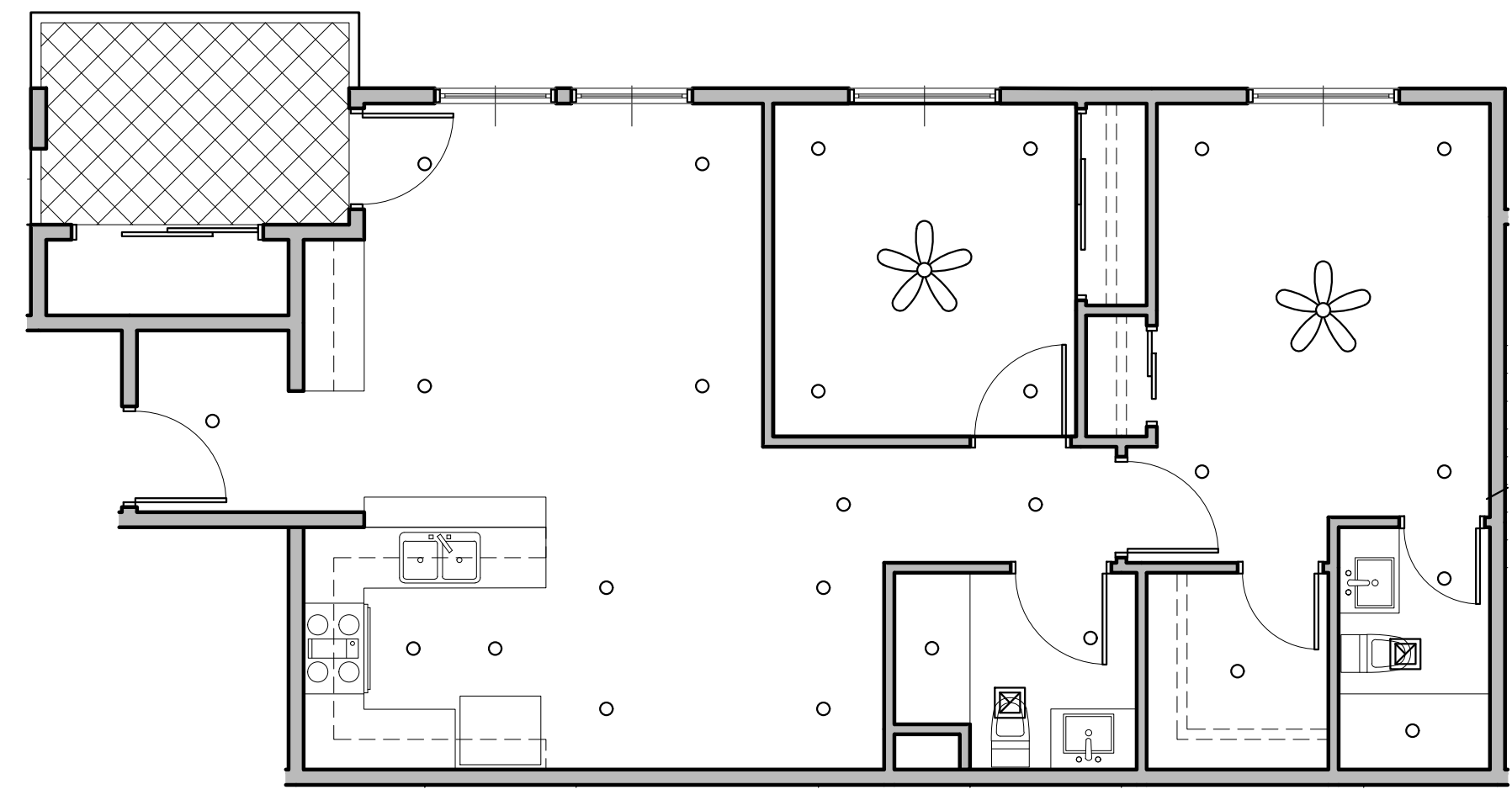
- DWELLING UNITS ACCESSIBILITY. REFER TO SHEET A-COMMON AN PUBLIC AREAS ACCESSIBILITY. REFER TO SHEETS A- AND A-
- ALL TUB/SHOWER COMBOS WILL BE UTILIZED FIBERGLASS.
- WALLS ARE PERMITTED TO BE OF NON-RATED CONSTRUCTION EXCEPTS AS GRAPHICALLY NOTED ON BUILDING COMPOSITE FLOOR PLANS.
- UNITS SHALL HAVE AT LEAST A MINIMUM LEAKAGE OF 0.30 CFM50 PER SQUARE FOOT OF ENCLOSURE.
- WATER HEATER UNIT MODEL. SEE PLUMBING SCHEDULE.
- RECESSED LIGHTING SHALL BE "BOXED IN" AT FIRE RATED FLOOR/C/LG CONDITIONS.
- DIMENSIONS ARE MEASURED FROM FACE OF STUD (FOS) UNLESS NOTED OTHERWISE.

UNIT PLAN LEGEND

ELEMENT	DESCRIPTION
TYPE A	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SATIN LEVEL FIN
TYPE B	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SEMI GLOSS LEVEL 4 FIN
TYPE C	EXTERIOR SOFFIT 5/8" GYP BOARD TYPR X - TAPE, TEXTURE STUCCO FINISH
[Symbol]	LIMIT OF SOFFIT ABOVE - HEIGHT PER FLOOR PLAN. REFER TO DET 14 & 15A-
[Symbol]	FLOOR LEVEL AT DOORS SHALL NOT BE MORE THAN 1/2" HIGHER THAN THRESHOLD AT THE DOORWAY PER C.B.C. SECTION 1008.1.6 AND 1120A.4.1
[Symbol]	FLOOR MATERIAL FLUSH TRANSITION
[Symbol]	INTERIOR ELEVATION KEY
[Symbol]	LIVING ROOM ROOM NAME CARPET FLOOR FINISH 2'-0" CEILING HEIGHT
[Symbol]	DOOR NUMBER - REFER TO DOOR SCHEDULE
[Symbol]	WINDOW TYPE - REFER TO WINDOW SCHEDULE
[Symbol]	RECESSED LIGHT FIXTURE (AT AND IC RATED)
[Symbol]	CEILING FAN
[Symbol]	SUPPLY AIR REGISTER
[Symbol]	SUPPLY AIR SIDE WALL REGISTER
[Symbol]	RETURN AIR REGISTER
[Symbol]	RETURN AIR SIDE WALL REGISTER
[Symbol]	EXHAUST AIR REGISTER / FAN - ENERGY STAR COMPLIANT - SEE MECH
[Symbol]	SMOKE DETECTOR
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	WALL TYPE SYMBOL - SEE SCHEDULE ON SHEET A- AND A-

UNIT PLAN KEYNOTES

- DOUBLE BOWL SINK. W WITH GARAGE DISPOSAL & HOLE FOR DISHWASHER AIR GAP. PROVIDE ADAPTIBLE REQUIREMENTS WHERE NOTED/ REFER TO SCHEDULE OF FINISHES.
- UNDER-COUNTER 1" - 24" WIDE DISHWASHER (BOSCH 24" ADA OR APPROVED EQUAL. ENERGY STAR CERTIFIED). PROVIDE ADAPTIBLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
- REFRIGERATOR SPACE. PROVIDE COLD WATER STUB-OUT IN RECESSED WALL BOX FOR ICE MAKER. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY. PROVIDE ADAPTIBLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
- FREE STANDING RANGE AND OVER THE RANGE MICROWAVE (BOTH ENERGY STAR CERTIFIED) - VERIFY AND INSTALL APPLIANCES PER MANUFACTURER'S REQUIREMENTS. PROVIDE ADAPTIBLE REQUIREMENTS. PROVIDE 15" BREADBOARD EA SIDE.
- 24" DEEP BASE CABINET WITH COUNTERTOP
- 12" DEEP UPPER CABINET
- ENERGY STAR WASHER AND DRYER - STACKED
- VOID SPACE. FILL IN WITH INSULATION
- ULTRA-LOW FLUSH TOILET - REFER TO DETAIL FOR ACCESSIBILITY REQUIREMENTS
- 32" x 60" TUB/SHOWER - VERIFY UNIT DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING
- RECESSED MEDICINE CABINET. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY
- FUTURE 48" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
- FUTURE 42" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
- ELECTRIC PANEL - REFER TO ELECTRICAL DRAWINGS FOR SOME INFORMATION. POLE AND SHELF. LOCATE POLE 6" ABOVE FINISH FLOOR. PROVIDE 2X6 BLOCKING WITHIN
- STUB BAY AT EACH END & CENTER OF POLE FOR POLE HARDWARE. VERIFY SHELF BRACKETS & PROVIDE CONCEALED BY BLOCKING ACCORDINGLY.
- GRAB BAR
- CEILING MOUNTED HORIZONTAL FAN COIL UNIT. (SEE MECHANICAL PLANS) VERIFY UNIT DIMENSIONS AND CLEARANCE REQUIREMENTS PRIOR TO FRAMING AND SETTING DROPPED CEILING HEIGHT. PROVIDE MINIMUM REQUIRED MANUFACTURE ACCESS PANEL COMPATIBLE WITH F.C.U. PAINT PANEL TO MATCH CEILING.
- METAL THRESHOLD. FLOOR LEVEL CHANGES GREATER THAN 1/2" AT DOORWAYS SHALL BE BEVELED OR SLOPED NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). REFER TO DETAILS AT ENTRY DOOR AT BALCONY SLIDING DOOR
- UNIT DOOR BELL AT 48" AFF - SEE ELEC
- ACCESSIBLE COMPLIANT LAVATORY
- UNIT SIGNAGE
- WATER SUB METER AT HIGH LEVEL INSIDE CEILING SPACE WITH CEILING ACCESS - SEE PLUMBING
- DUAL REMOTE WATER METER DISPLAY. MOUNT HT. AT 4'-0". ABOVE FINISH FLOOR TO TOP OF DISPLAY
- 15" MIN. BREADBOARD
- ENERGY STAR TANKLESS WATER HEATER. SEE PLUMBING DRAWINGS. VERIFY REQUIRED CLEARANCES WITH MFR PRIOR TO FRAMING.
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- 42" HIGH GUARD RAIL - REFER TO EXTERIOR ELEVATIONS.
- EXTERIOR LOW WALL - REFER TO EXTERIOR ELEVATION
- 1HR RATED SHAFT - CONTRACTOR TO VERIFY WITH MECHANICAL DRAWINGS
- EXTERIOR EXHAUST LOUVER - SEE MECHANICAL
- GUTTER
- SCUPPER
- CEILING BREAK
- 2" WIDE PVC SOFFIT VENT - SEE DETAIL
- NOT USED

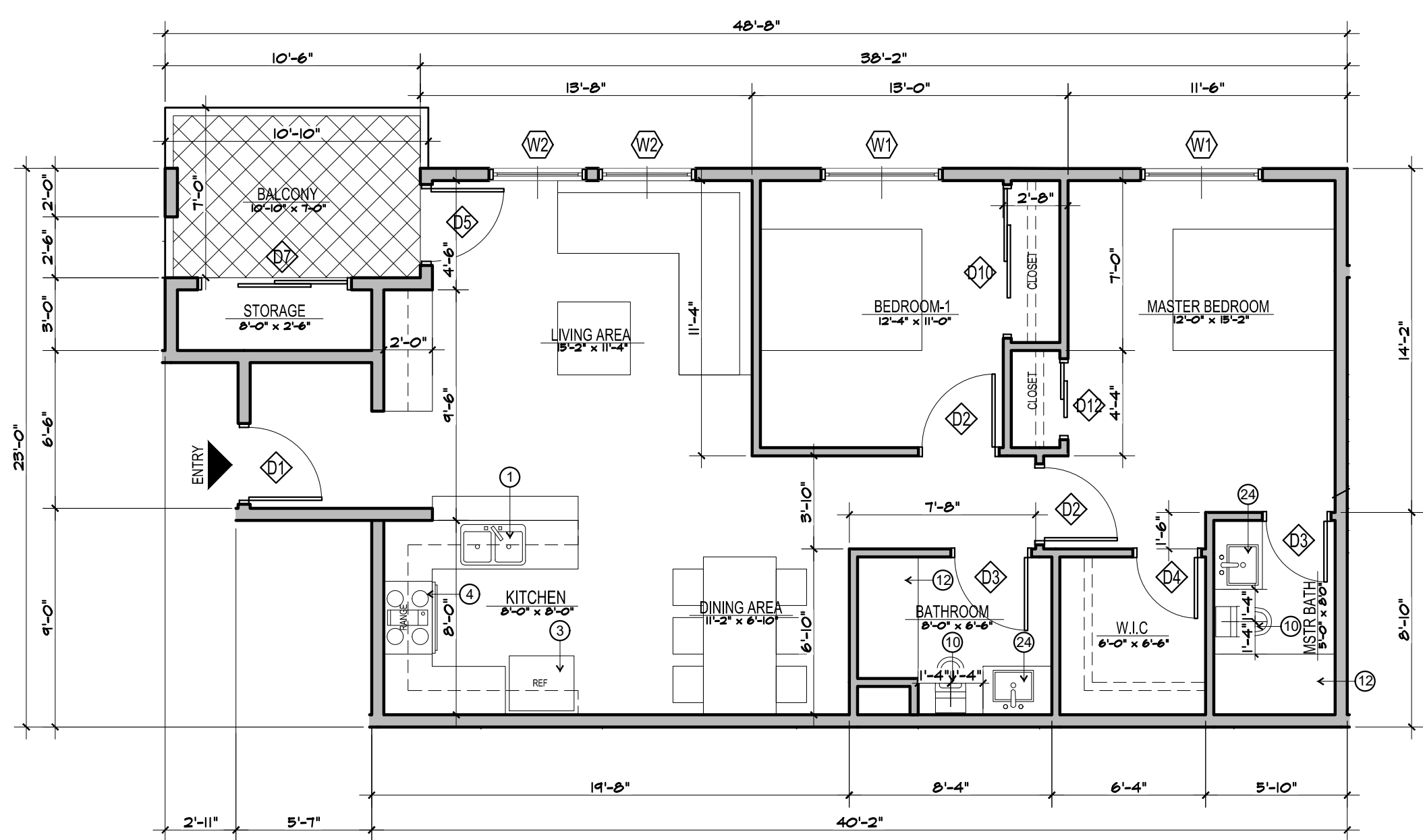


UNIT PLAN 201, 301 - REFLECTED CEILING PLAN

SCALE 3/16" = 1'-0" 04

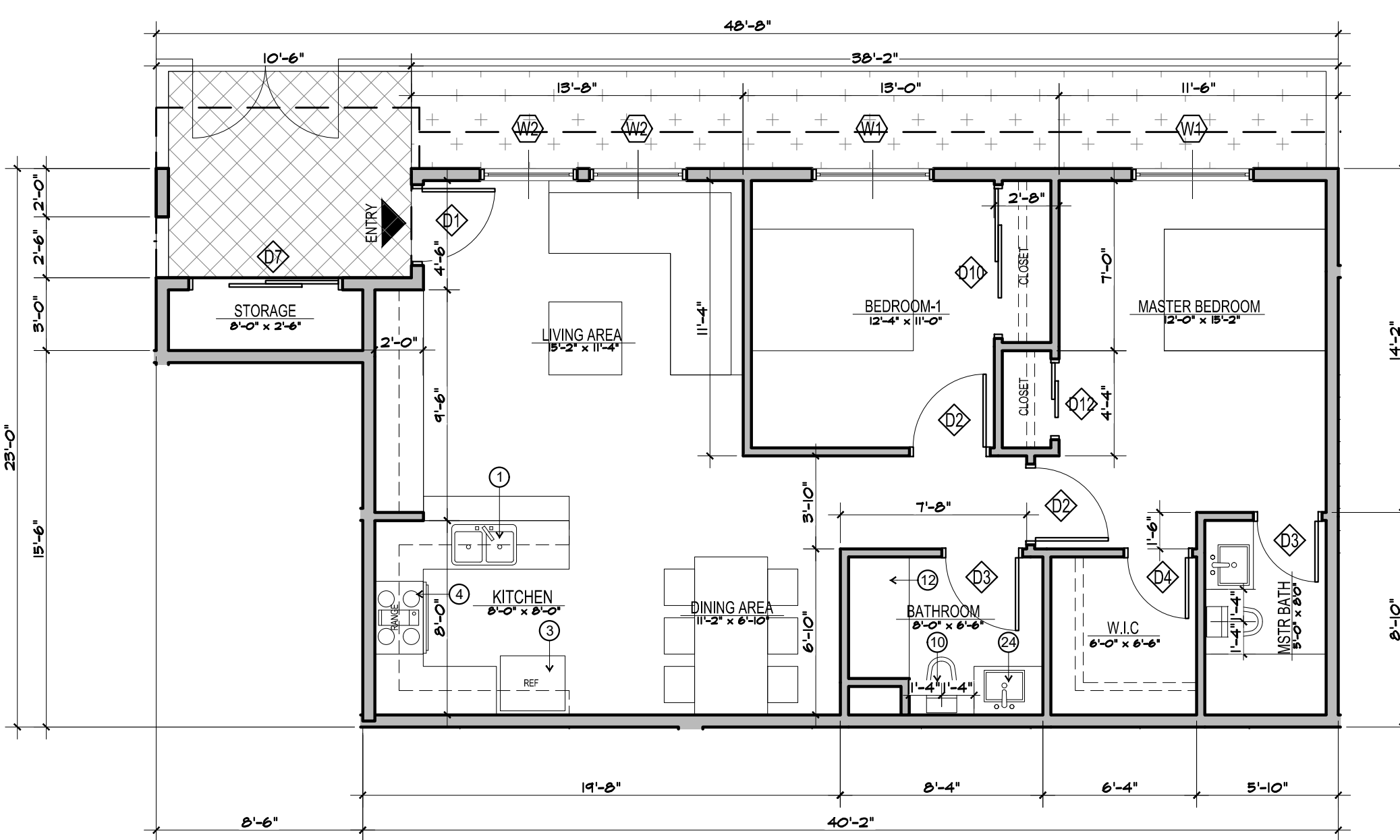
UNIT PLAN 101 - REFLECTED CEILING PLAN

SCALE 3/16" = 1'-0" 02



UNIT PLAN 201, 301 - FLOOR PLAN

SCALE 3/16" = 1'-0" 03



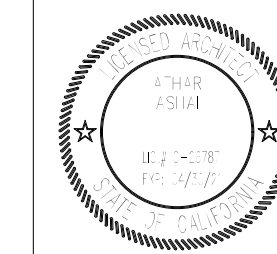
UNIT PLAN 101 - FLOOR PLAN

SCALE 3/16" = 1'-0" 01

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title:
**BUILDING B-
UNIT PLANS**

Scale: AS NOTED Job Number: J-1908
Date: Aug2021 Sheet Number:
Drawn: arkihaus
Checked: CTV/RRJ

A-122

PLOT DATE: 10/20/2021

GENERAL NOTES

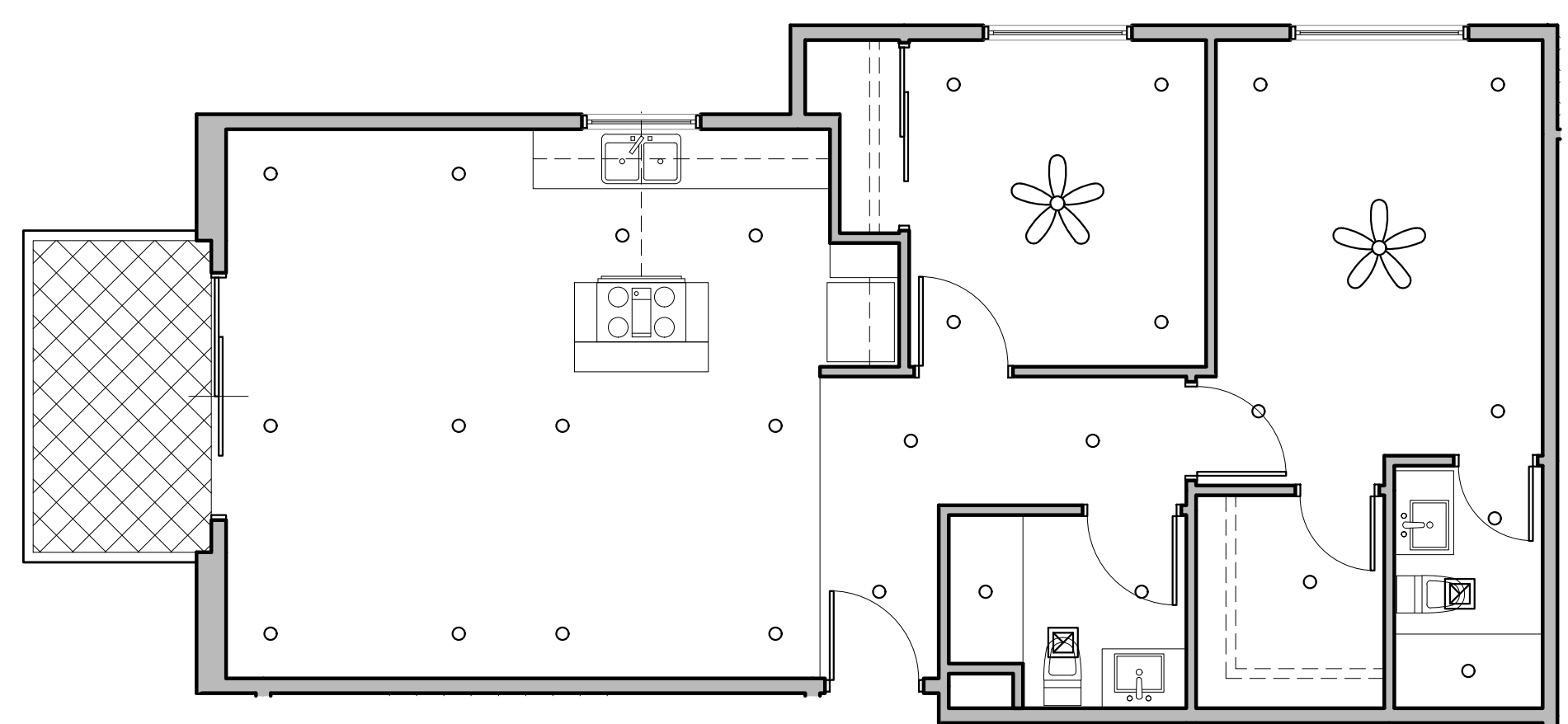
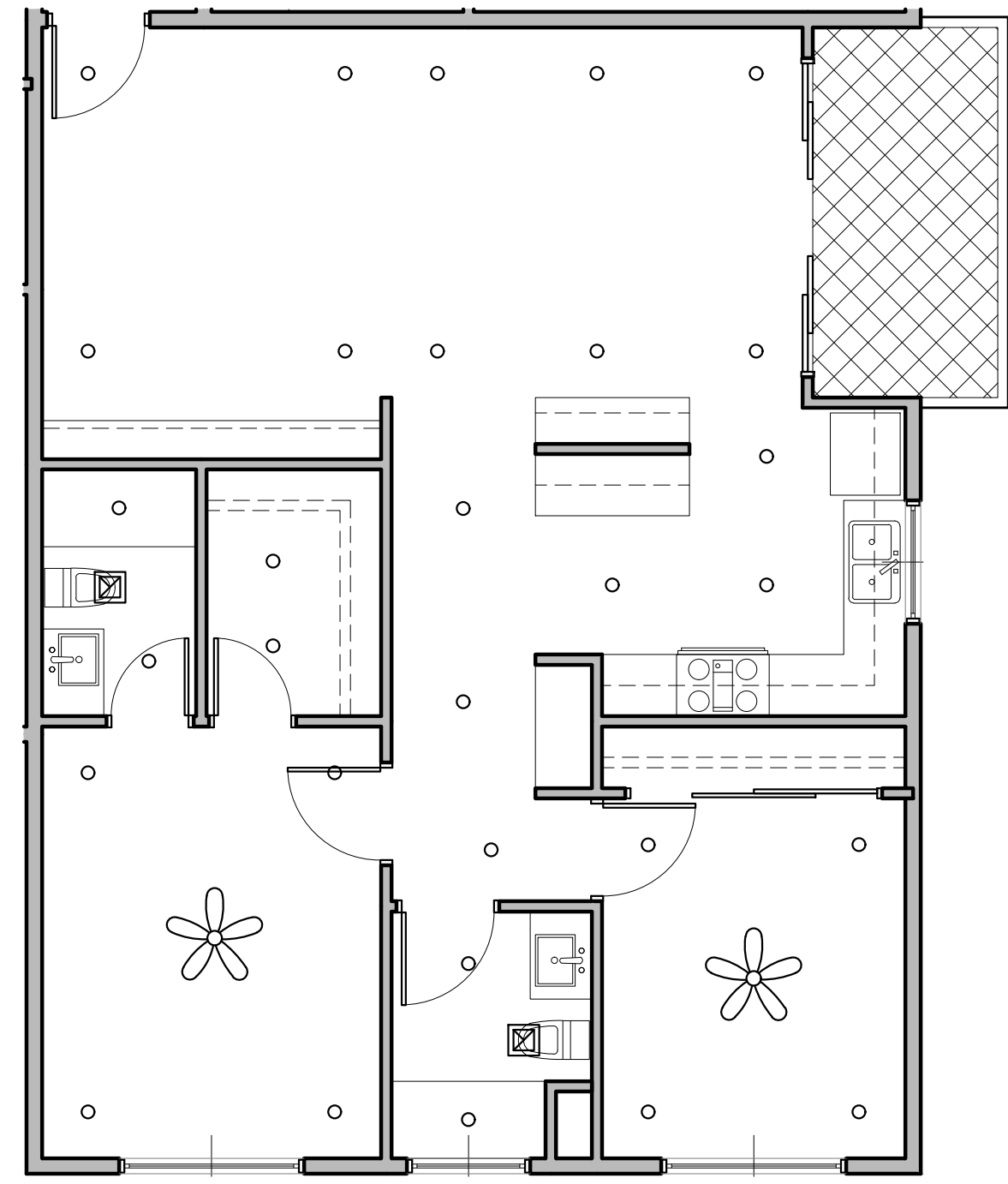
1. DWELLING UNITS ACCESSIBILITY. REFER TO SHEET A-
2. COMMON AND PUBLIC AREAS ACCESSIBILITY. REFER TO SHEETS A- AND A-
3. ALL TUB/SHOWER COMBOS WILL BE UTILIZED FIBERGLASS.
4. WALLS ARE PERMITTED TO BE OF NON-RATED CONSTRUCTION EXCEPTS AS GRAPHICALLY NOTED ON BUILDING COMPOSITE FLOOR PLANS.
5. UNITS SHALL HAVE AT LEAST A MINIMUM LEAKAGE OF 0.30 CFM50 PER SQUARE FOOT OF ENCLOSURE.
6. WATER HEATER UNIT MODEL. SEE PLUMBING SCHEDULE.
7. RECESSED LIGHTING SHALL BE "BOXED IN" AT FIRE RATED FLOOR/CLG CONDITIONS.
8. DIMENSIONS ARE MEASURED FROM FACE OF STUD (POS) UNLESS NOTED OTHERWISE.

UNIT PLAN LEGEND

ELEMENT	DESCRIPTION
TYPE A	5/8" GYPSUM BOAR - TAPE, TEXTURE AND PAINT - SATIN LEVEL FIN
TYPE B	5/8" GYPSUM BOAR - TAPE, TEXTURE AND PAINT - SEMI GLOSS LEVEL 4 FIN
TYPE C	EXTERIOR SOFFIT 5/8" GYP BOARD TYPR X - TAPE, TEXTURE STUCCO FINISH
	LIMIT OF SOFFIT ABOVE - HEIGHT PER FLOOR PLAN. REFER TO DET 14 & 15A--
	FLOOR LEVEL AT DOORS SHALL NOT BE MORE THAN 2 INCH LOWER THAN THRESHOLD AT THE DOORWAY PER C.B.C. SECTION 1008.1.6 AND 1132A. 4.1
	FLOOR MATERIAL FLUSH TRANSITION
	INTERIOR ELEVATION KEY
	ROOM NAME
	FLOOR FINISH
	CEILING HEIGHT
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WINDOW TYPE - REFER TO WINDOW SCHEDULE
	RECESSED LIGHT FIXTURE (AT AND IC RATED)
	CEILING FAN
	SUPPLY AIR REGISTER
	SUPPLY AIR SIDE WALL REGISTER
	RETURN AIR REGISTER
	RETURN AIR SIDE WALL REGISTER
	EXHAUST AIR REGISTER / FAN - ENERGY STAR COMPLIANT - SEE MECH
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	WALL TYPE SYMBOL - SEE SCHEDULE ON SHEET A- AND A--

UNIT PLAN KEYNOTES

1. DOUBLE BOWL SINK W/ WITH GARAGE DISPOSAL & HOLE FOR DISHWASHER AIR GAP. PROVIDE ADAPTABLE REQUIREMENTS WHERE NOTED! REFER TO SCHEDULE OF FINISHES.
2. UNDER-COUNTER V - 24" WIDE DISHWASHER (BOSCH) ADA OR APPROVED EQUAL. ENERGY STAR CERTIFIED. PROVIDE ADAPTABLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
3. REFRIGERATOR SPACE. PROVIDE COLD WATER STUB-OUT IN RECESSED WALL BOX FOR ICE MAKER. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY. PROVIDE ADAPTABLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
4. FREE STANDING RANGE AND OVER THE RANGE MICROWAVE (BOTH ENERGY STAR CERTIFIED) - VERIFY AND INSTALL APPLIANCES PER MANUFACTURER'S REQUIREMENTS. PROVIDE ADAPTABLE REQUIREMENTS. PROVIDE 15" BREADBOARD EA SIDE.
5. 24" DEEP BASE CABINET WITH COUNTERTOP
6. 12" DEEP UPPER CABINET
7. ENERGY STAR WASHER AND DRYER - STACKED
8. VOID SPACE. FILL IN WITH INSULATION
9. ULTRA-LOW FLUSH TOILET - REFER TO DETAIL FOR ACCESSIBILITY REQUIREMENTS
10. 32" x 60" TUB/SHOWER - VERIFY UNIT DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING
11. RECESSED MEDICINE CABINET. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY
12. FUTURE 6" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
13. FUTURE 42" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
14. ELECTRIC PANEL - REFER TO ELECTRICAL DRAWINGS FOR SOME INFORMATION
15. HOLE AND SHELF - LOCATE POLE 6" ABOVE FINISH FLOOR. PROVIDE 2x4 BLOCKING WITHIN STUD BAY AT EACH END & CENTER OF POLE FOR POLE HARDWARE. VERIFY SHELF BRACKETS & PROVIDE CONCEALED IN BLOCKING ACCORDINGLY.
16. GRAB BAR
17. CEILING MOUNTED HORIZONTAL FAN COOL UNIT. (SEE MECHANICAL PLANS) VERIFY UNIT DIMENSIONS AND CLEARANCE REQUIREMENTS PRIOR TO FRAMING AND SETTING DROPPED CEILING HEIGHT. PROVIDE MINIMUM REQUIRED MANUFACTURE ACCESS PANEL COMPATIBLE WITH F.C.U. PAINT PANEL TO MATCH CEILING.
18. METAL THRESHOLD FLOOR LEVEL CHANGES GREATER THAN 1/2" AT DOORWAYS SHALL BE BEVELED OR SLOPED NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). REFER TO DETAILS AT ENTRY DOOR AT BALCONY SLIDING DOOR
19. UNIT DOOR BELL AT 48" AFF - SEE ELEC
20. ACCESSIBLE COMPLIANT LAVATORY
21. UNIT SIGNAGE
22. WATER SUB METER AT HIGH LEVEL INSIDE CEILING SPACE WITH CEILING ACCESS - SEE PLUMBING
23. DUAL REMOTE WATER METER DISPLAY. MOUNT HT. AT 4'-0". ABOVE FINISH FLOOR TO TOP OF DISPLAY
24. 15" MIN. BREADBOARD
25. ENERGY STAR TANKLESS WATER HEATER. SEE PLUMBING DRAWINGS. VERIFY REQUIRED CLEARANCES WITH MFR PRIOR TO FRAMING.
26. SMOKE DETECTOR
27. CARBON MONOXIDE DETECTOR
28. 42" HIGH GUARD RAIL - REFER TO EXTERIOR ELEVATIONS.
29. EXTERIOR LOW WALL - REFER TO EXTERIOR ELEVATION
30. 1HR RATED SHAFT - CONTRACTOR TO VERIFY WITH MECHANICAL DRAWINGS
31. EXTERIOR EXHAUST LOUVER - SEE MECHANICAL
32. GUTTER
33. SCUPPER
34. CEILING BREAK
35. 2" WIDE PVC SOFFIT VENT - SEE DETAIL
36. NOT USED

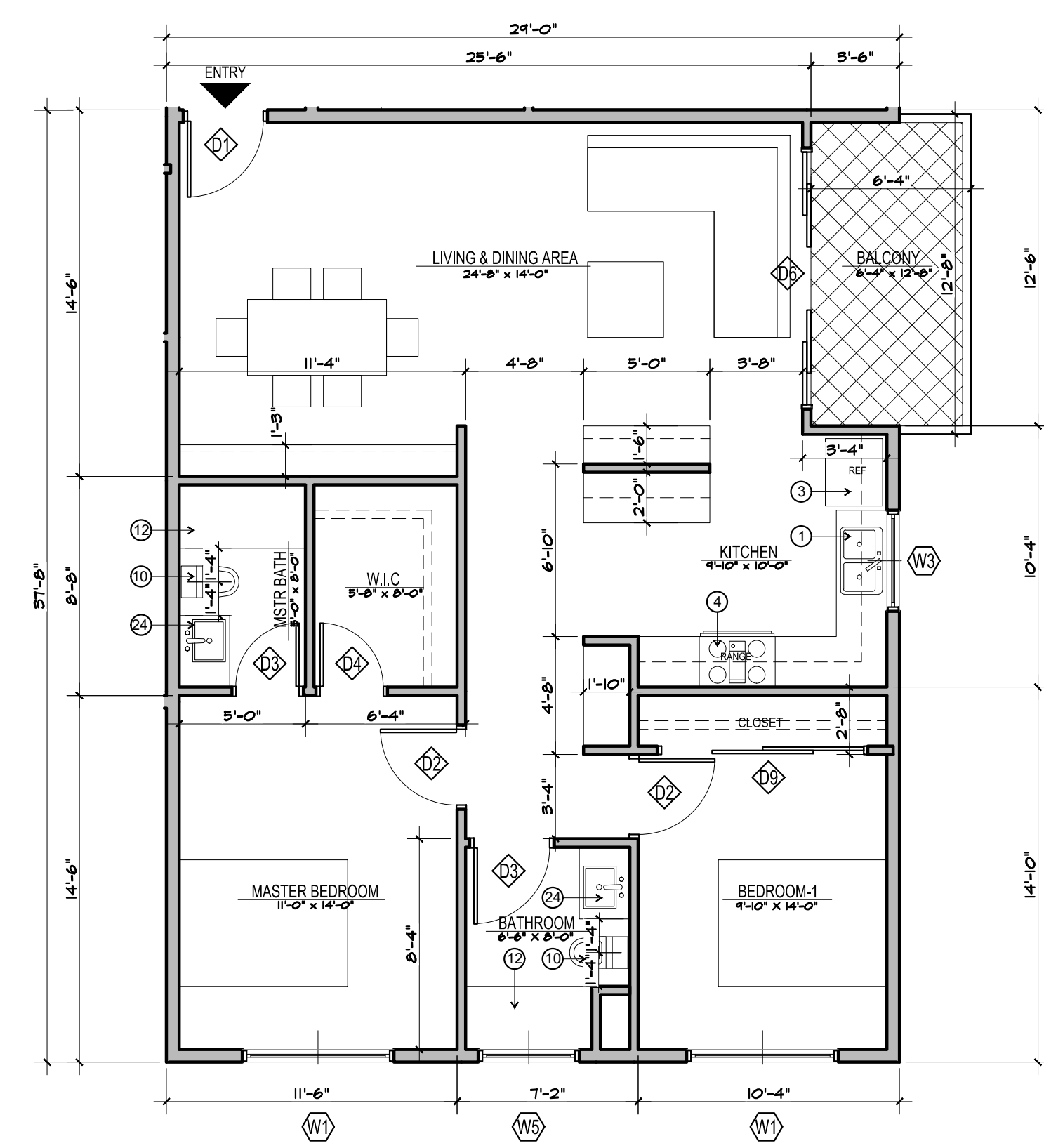


UNIT PLAN 203 - REFLECTED CEILING PLAN

SCALE 3/16" = 1'-0" 04

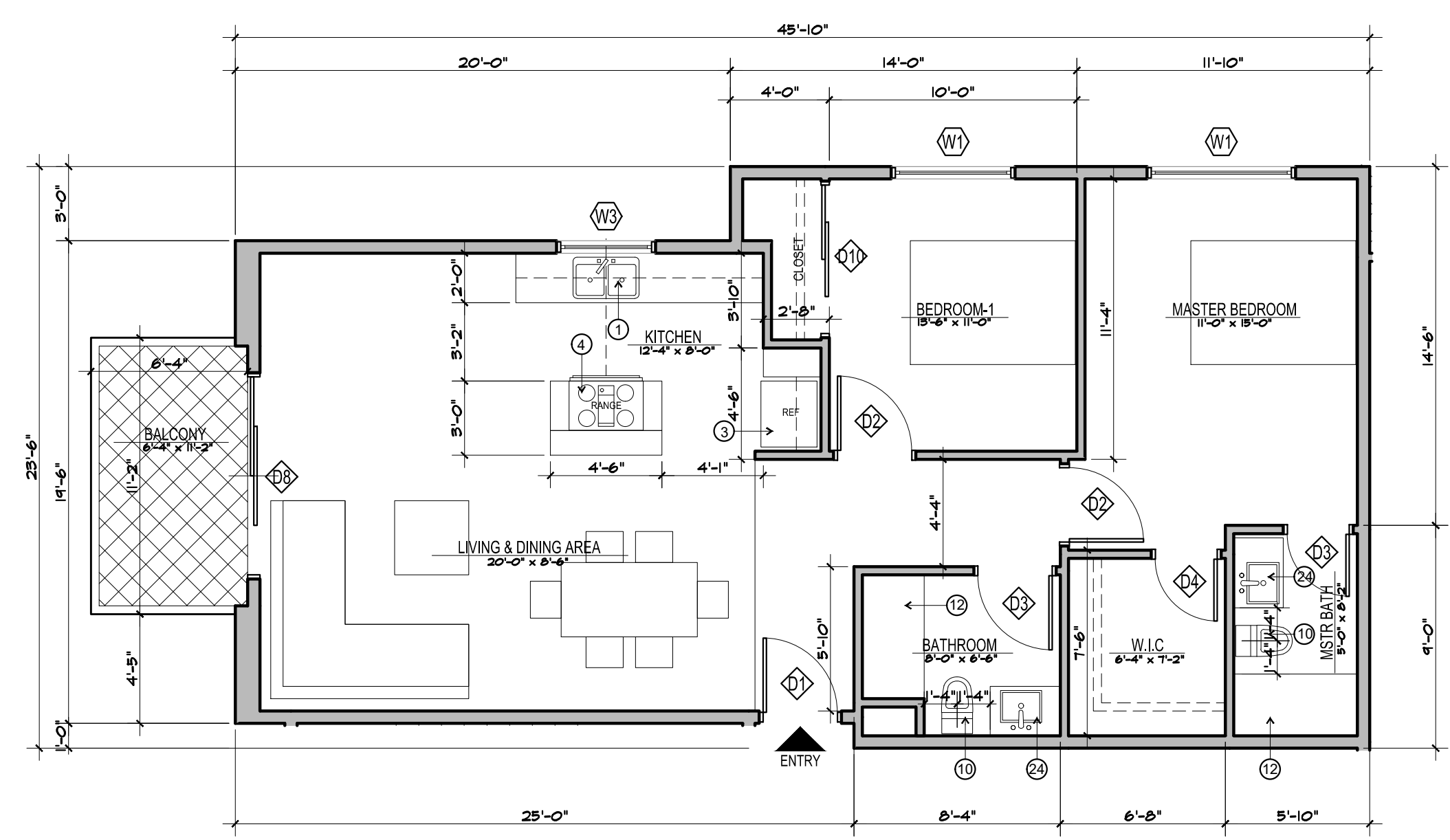
UNIT PLAN 202, 302 - REFLECTED CEILING PLAN

SCALE 3/16" = 1'-0" 02



UNIT PLAN 203 - FLOOR PLAN

SCALE 3/16" = 1'-0" 03



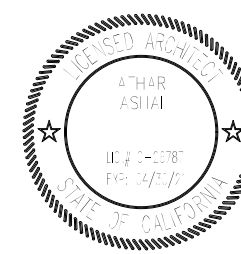
UNIT PLAN 202, 302 - FLOOR PLAN

SCALE 3/16" = 1'-0" 01

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title:
**BUILDING B-
UNIT PLANS**

Scale:	AS NOTED	Job Number:	J-1908
Date:	Aug2021	Sheet Number:	
Drawn:	arkihaus	A-123	
Check'd:	CTV/RRJ		

PLOT DATE: 10/20/21

GENERAL NOTES

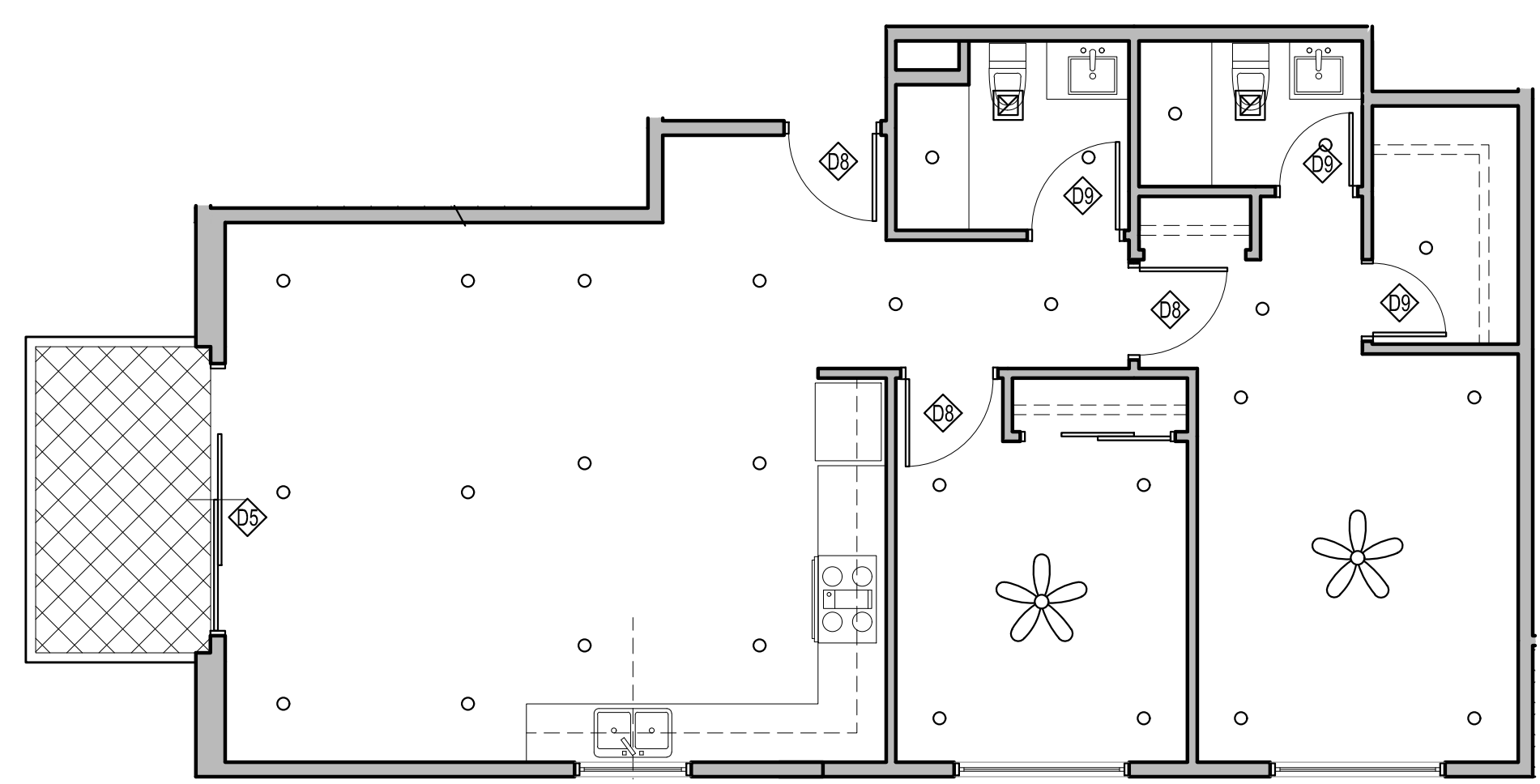
1. DWELLING UNITS ACCESSIBILITY. REFER TO SHEET A-
2. COMMON AND PUBLIC AREAS ACCESSIBILITY. REFER TO SHEETS A- AND A-
3. ALL TUB/SHOWER COMBOS WILL BE UTILIZED FIBERGLASS
4. WALLS ARE PERMITTED TO BE OF NON-RATED CONSTRUCTION EXCEPTS AS GRAPHICALLY NOTED ON BUILDING COMPOSITE FLOOR PLANS.
5. UNITS SHALL HAVE AT LEAST A MINIMUM LEAKAGE OF 0.30 CFM50 PER SQUARE FOOT OF ENCLOSURE.
6. WATER HEATER UNIT MODEL. SEE PLUMBING SCHEDULE
7. RECESSED LIGHTING SHALL BE "BOXED IN" AT FIRE RATED FLOOR/CLG CONDITIONS
8. DIMENSIONS ARE MEASURED FROM FACE OF STUD (POS) UNLESS NOTED OTHERWISE.

UNIT PLAN LEGEND

ELEMENT	DESCRIPTION
TYPE A	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SATIN LEVEL FIN
TYPE B	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SEMI GLOSS LEVEL 4 FIN
TYPE C	EXTERIOR SOFFIT 5/8" GYP BOARD TYPR X - TAPE, TEXTURE STUCCO FINISH
	LIMIT OF SOFFIT ABOVE - HEIGHT PER FLOOR PLAN. REFER TO DET 14 & 15A-
	FLOOR LEVEL AT DOORS SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THRESHOLD AT THE DOORWAY PER C.B.C. SECTION 1008.1.6 AND 1132A. 4.1
	FLOOR MATERIAL FLUSH TRANSITION
	INTERIOR ELEVATION KEY
	ROOM NAME FLOOR FINISH CEILING HEIGHT
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WINDOW TYPE - REFER TO WINDOW SCHEDULE
	RECESSED LIGHT FIXTURE (AT AND IC RATED)
	CEILING FAN
	SUPPLY AIR REGISTER
	SUPPLY AIR SIDE WALL REGISTER
	RETURN AIR REGISTER
	RETURN AIR SIDE WALL REGISTER
	EXHAUST AIR REGISTER / FAN - ENERGY STAR COMPLIANT - SEE MECH
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	WALL TYPE SYMBOL - SEE SCHEDULE ON SHEET A- AND A-

UNIT PLAN KEYNOTES

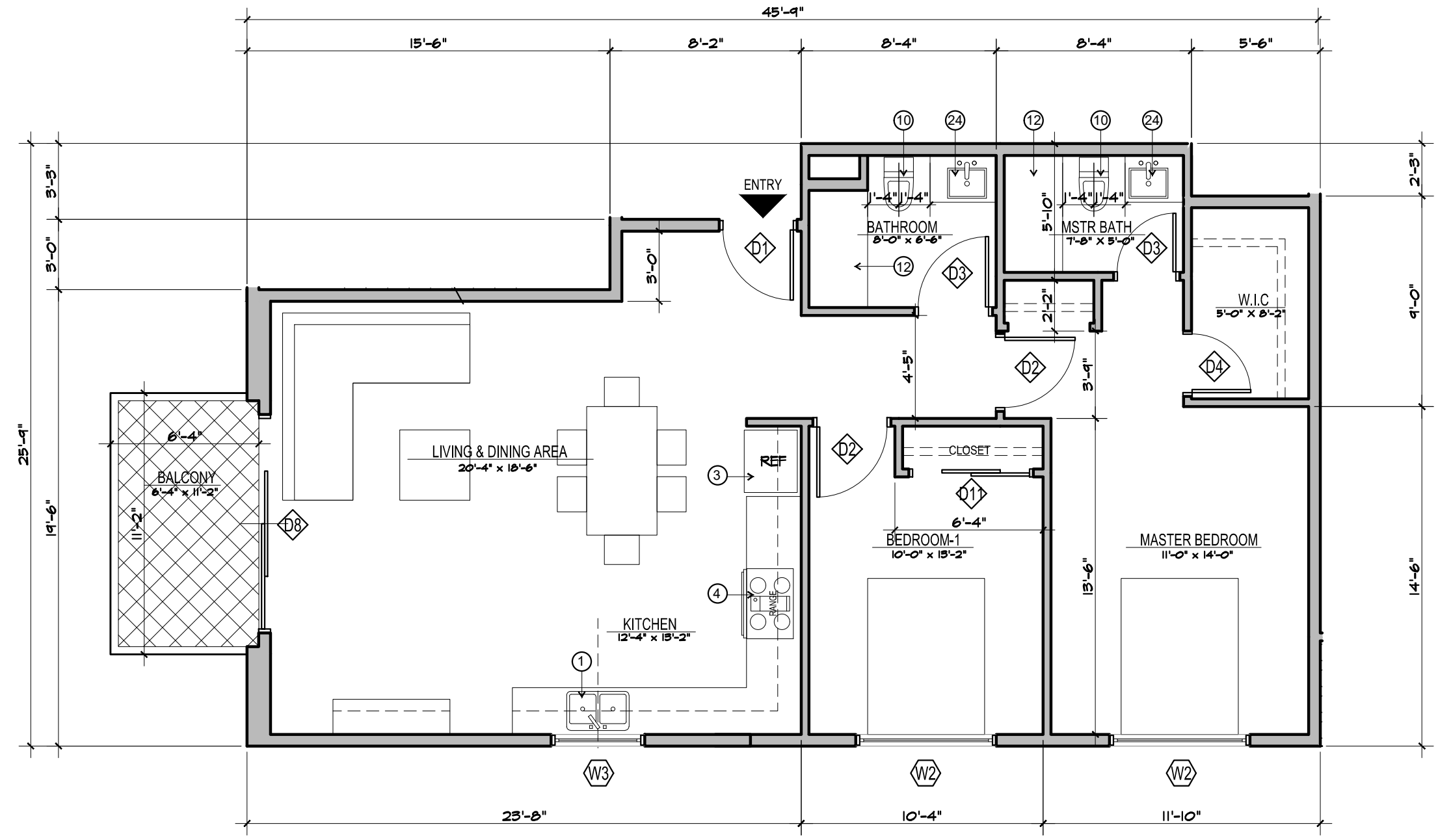
1. DOUBLE BOWL SINK W/ WITH GARAGE DISPOSAL & HOLE FOR DISHWASHER AIR GAP. PROVIDE ADAPTIBLE REQUIREMENTS WHERE NOTED. REFER TO SCHEDULE OF FINISHES.
2. UNDER-COUNTER W - 24" WIDE DISHWASHER (BOSCH 24" ADA OR APPROVED EQUAL. ENERGY STAR CERTIFIED). PROVIDE ADAPTIBLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
3. REFRIGERATOR SPACE. PROVIDE COLD WATER STUB-OUT IN RECESSED WALL BOX FOR ICE MAKER. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY. PROVIDE ADAPTIBLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
4. FREE STANDING RANGE AND OVER THE RANGE MICROWAVE (BOTH ENERGY STAR CERTIFIED) - VERIFY AND INSTALL APPLIANCE'S MANUFACTURER'S REQUIREMENTS. PROVIDE ADAPTIBLE REQUIREMENTS. PROVIDE 15" BREADBOARD EA SIDE.
5. 24" DEEP BASE CABINET WITH COUNTERTOP
6. 12" DEEP UPPER CABINET
7. ENERGY STAR WASHER AND DRYER - STACKED
8. VOID SPACE. FILL IN WITH INSULATION
9. ULTRA-LOW FLUSH TOILET - REFER TO DETAIL FOR ACCESSIBILITY REQUIREMENTS
10. 32" x 60" TUB/SHOWER - VERIFY UNIT DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING
11. RECESSED MEDICINE CABINET. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY
12. FUTURE 42" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
13. FUTURE 42" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
14. ELECTRIC PANEL - REFER TO ELECTRICAL DRAWINGS FOR SOME INFORMATION POLE AND SHELF. LOCATE POLE 6" ABOVE FINISH FLOOR. PROVIDE 2x6 BLOCKING WITHIN STUD BAY AT EACH END & CENTER OF POLE. FOR POLE HARDWARE. VERIFY SHELF BRACKETS & PROVIDE CONCEALED 2x6 BLOCKING ACCORDINGLY.
15. GRAB BAR
16. CEILING MOUNTED HORIZONTAL FAN COIL UNIT. (SEE MECHANICAL PLANS) VERIFY UNIT DIMENSIONS AND CLEARANCE REQUIREMENTS PRIOR TO FRAMING AND SETTING DROPPED CEILING HEIGHT. PROVIDE MINIMUM REQUIRED MANUFACTURE ACCESS PANEL COMPATIBLE WITH F.C.U. PAINT PANEL TO MATCH CEILING.
18. METAL THRESHOLD. FLOOR LEVEL CHANGES GREATER THAN 1/2" AT DOORWAYS SHALL BE BEVELED OR SLOPED NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50% SLOPE). REFER TO DETAILS AT ENTRY DOOR AT BALCONY SLIDING DOOR
19. UNIT DOOR BELL AT 48" AFF - SEE ELEC
20. ACCESSIBLE COMPLAINT LAVATORY
21. UNIT SIGNAGE
22. WATER SUB METER AT HIGH LEVEL INSIDE CEILING SPACE WITH CEILING ACCESS - SEE PLUMBING
23. DUAL REMOTE WATER METER DISPLAY. MOUNT HT. AT 4'-0" ABOVE FINISH FLOOR TO TOP OF DISPLAY
24. 15" MIN. BREADBOARD
25. ENERGY STAR TANKLESS WATER HEATER. SEE PLUMBING DRAWINGS. VERIFY REQUIRED CLEARANCES WITH MFR PRIOR TO FRAMING
26. SMOKE DETECTOR
27. CARBON MONOXIDE DETECTOR
28. 42" HIGH GUARD RAIL - REFER TO EXTERIOR ELEVATIONS.
29. EXTERIOR LOW WALL - REFER TO EXTERIOR ELEVATION
30. 1HR RATED SHAFT - CONTRACTOR TO VERIFY WITH MECHANICAL DRAWINGS
31. EXTERIOR EXHAUST LOUVER - SEE MECHANICAL
32. GUTTER
33. SCUPPER
34. CEILING BREAK
35. 2" WIDE PVC SOFFIT VENT - SEE DETAIL
36. NOT USED



UNIT PLAN 204 - REFLECTED CEILING PLAN

SCALE
3/16" = 1'-0"

02



UNIT PLAN 204 - FLOOR PLAN

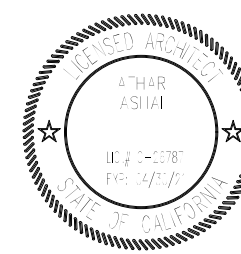
SCALE
3/16" = 1'-0"

01

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title:
**BUILDING B-
UNIT PLANS**

Scale:	AS NOTED	Job Number:	J-1908
Date:	Aug2021	Sheet Number:	
Drawn:	arkihaus	Check'd:	CTV/RRJ

A-124

PLOT DATE: 10/20/21

GENERAL NOTES

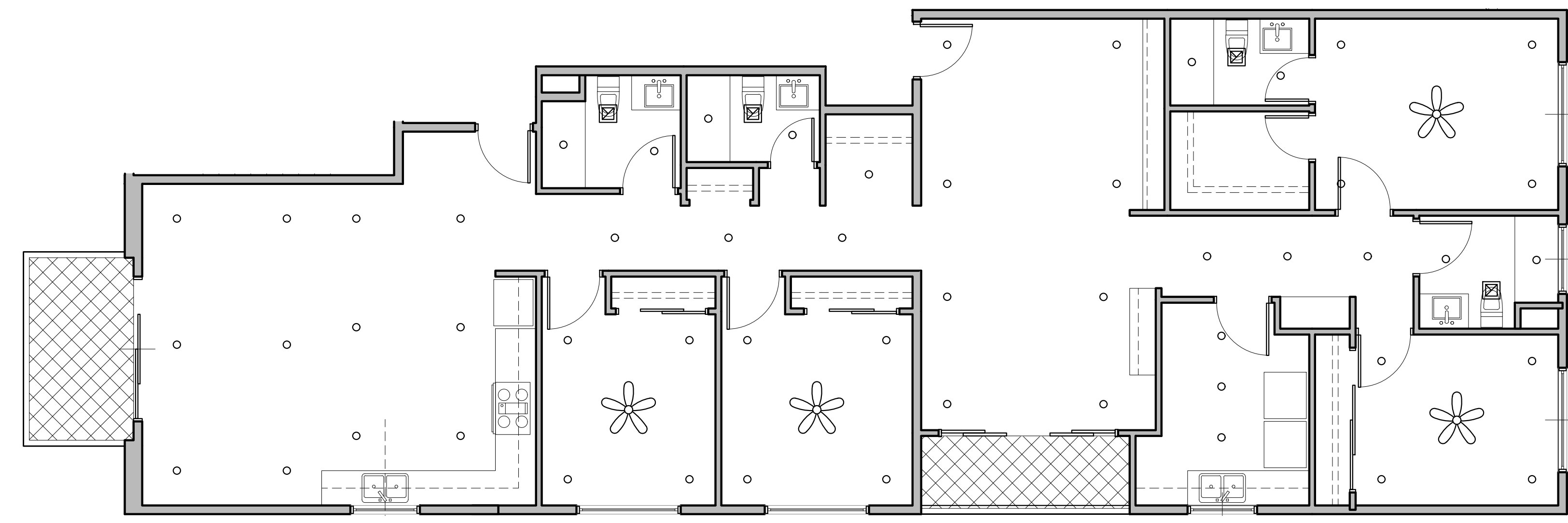
- DWELLING UNITS ACCESSIBILITY. REFER TO SHEET A.
- COMMON IN PUBLIC AREAS ACCESSIBILITY. REFER TO SHEETS A- AND A-.
- ALL TUB/SHOWER COMBOS WILL BE UTILIZED FIBERGLASS.
- WALLS ARE PERMITTED TO BE OF NON-RATED CONSTRUCTION EXCEPTS AS GRAPHICALLY NOTED ON BUILDING COMPOSITE FLOOR PLANS.
- UNITS SHALL HAVE AT LEAST A MINIMUM LEAKAGE OF 0.30 CFM50 PER SQUARE FOOT OF ENCLOSURE.
- WATER HEATER UNIT MODEL. SEE PLUMBING SCHEDULE.
- RECESSED LIGHTING SHALL BE "BOXED IN" AT FIRE RATED FLOOR/CLG CONDITIONS.
- DIMENSIONS ARE MEASURED FROM FACE OF STUD (FOS) UNLESS NOTED OTHERWISE.

UNIT PLAN LEGEND

ELEMENT	DESCRIPTION
TYPE A	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SATIN LEVEL FIN
TYPE B	5/8" GYPSUM BOARD - TAPE, TEXTURE AND PAINT - SEMI GLOSS LEVEL 4 FIN
TYPE C	EXTERIOR SOFFIT 5/8" GYP BOARD TYR X - TAPE, TEXTURE STUCCO FINISH
	LIMIT OF SOFFIT ABOVE - HEIGHT PER FLOOR PLAN. REFER TO DET 14 & 15A.
	FLOOR LEVEL AT DOORS SHALL NOT BE MORE THAN 1/4 INCH LOWER THAN THRESHOLD AT THE DOORWAY PER C.B.C. SECTION 1008.1.6 AND 1132A. 4.1
	FLOOR MATERIAL FLUSH TRANSITION
	INTERIOR ELEVATION KEY
	ROOM NAME
	FLOOR FINISH
	CEILING HEIGHT
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WINDOW TYPE - REFER TO WINDOW SCHEDULE
	RECESSED LIGHT FIXTURE (AT AND IC RATED)
	CEILING FAN
	SUPPLY AIR REGISTER
	SUPPLY AIR SIDE WALL REGISTER
	RETURN AIR REGISTER
	RETURN AIR SIDE WALL REGISTER
	EXHAUST AIR REGISTER / FAN - ENERGY STAR COMPLIANT - SEE MECH
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	WALL TYPE SYMBOL - SEE SCHEDULE ON SHEET A- AND A-

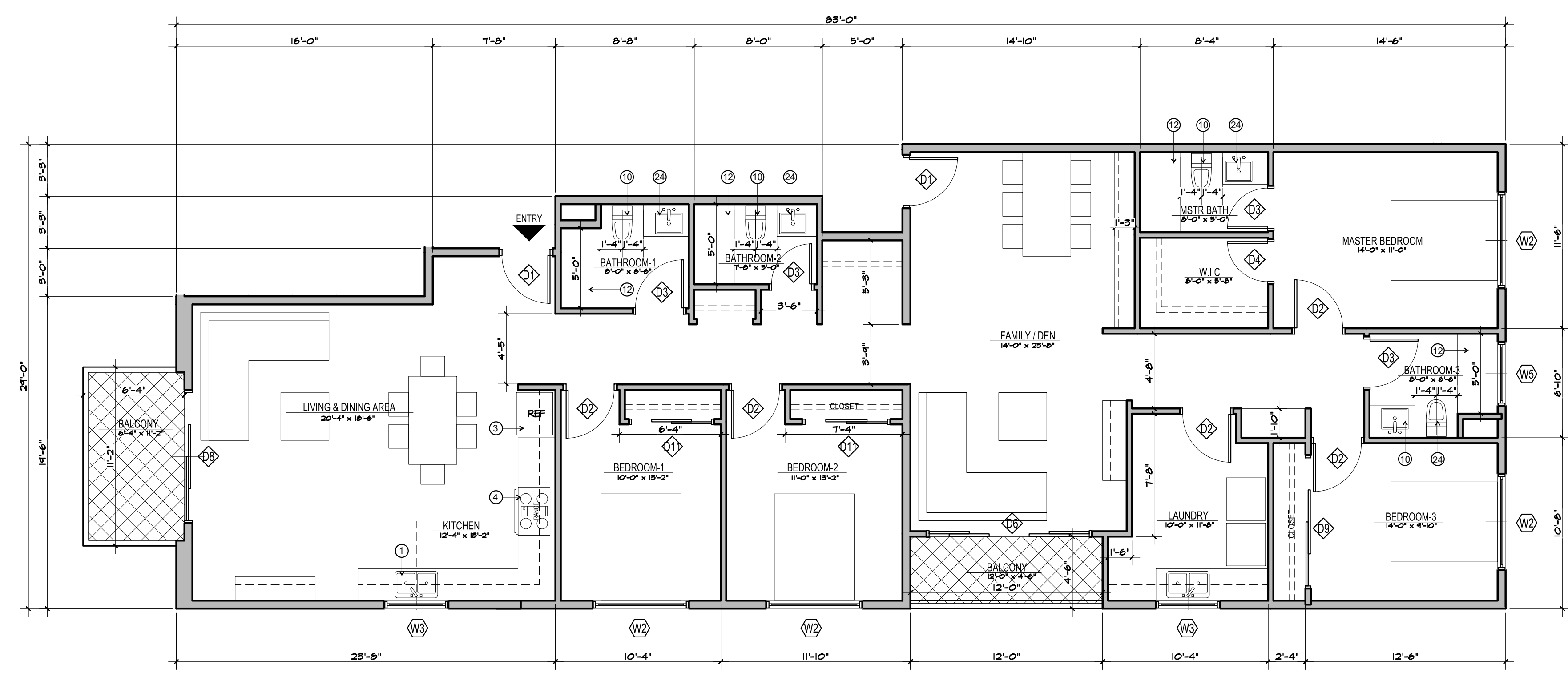
UNIT PLAN KEYNOTES

- DOUBLE BOWL SINK W/ WITH GARAGE DISPOSAL & HOLE FOR DISHWASHER AIR GAP. PROVIDE ADAPTABLE REQUIREMENTS WHERE NOTED. REFER TO SCHEDULE OF FINISHES.
- UNDER-COUNTER W - 24" WIDE DISHWASHER (BOSCH 24" ADA OR APPROVED EQUAL. ENERGY STAR CERTIFIED). PROVIDE ADAPTABLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
- REFRIGERATOR SPACE. PROVIDE COLD WATER STUB-OUT IN RECESSED WALL BOX FOR ICE MAKER. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY. PROVIDE ADAPTABLE REQUIREMENTS. REFER TO SCHEDULE OF FINISHES.
- FREE STANDING RANGE AND OVER THE RANGE MICROWAVE (BOTH ENERGY STAR CERTIFIED) - VERIFY AND INSTALL APPLIANCES PER MANUFACTURER'S REQUIREMENTS. PROVIDE ADAPTABLE REQUIREMENTS. PROVIDE 15" BREADBOARD EA SIDE.
- 24" DEEP BASE CABINET WITH COUNTERTOP
- 12" DEEP UPPER CABINET
- ENERGY STAR WASHER AND DRYER - STACKED
- VOID SPACE. FILL IN WITH INSULATION
- ULTRA-LOW FLUSH TOILET - REFER TO DETAIL FOR ACCESSIBILITY REQUIREMENTS
- 32" x 60" TUB/SHOWER - VERIFY UNIT DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING
- RECESSED MEDICINE CABINET. PROVIDE 1-HR RATED WALL RECESS WHERE OCCURS IN 1-HR RATED WALL ASSEMBLY
- FUTURE 40" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
- FUTURE 42" GRAB BAR. PROVIDE SOLID BLOCKING CONCEALED WITHIN WALL CENTERED ON BAR LOCATION
- ELECTRIC PANEL - REFER TO ELECTRICAL DRAWINGS FOR SOME INFORMATION POLE AND SHELF. LOCATE POLE 6" ABOVE FINISH FLOOR. PROVIDE 2x6 BLOCKING WITHIN
- STUD BAY AT EACH END & CENTER OF POLE FOR POLE HARDWARE. VERIFY SHELF BRACKETS & PROVIDE CONCEALED BY BLOCKING ACCORDINGLY.
- GRAB BAR
- CEILING MOUNTED HORIZONTAL FAN COIL UNIT. (SEE MECHANICAL PLANS) VERIFY UNIT DIMENSIONS AND CLEARANCE REQUIREMENTS PRIOR TO FRAMING AND SETTING DROPPED CEILING HEIGHT. PROVIDE MINIMUM REQUIRED MANUFACTURE ACCESS PANEL COMPATIBLE WITH F.C.U. PAINT PANEL TO MATCH CEILING.
- METAL THRESHOLD. FLOOR LEVEL CHANGES GREATER THAN 1/2" AT DOORWAYS SHALL BE BEVELED OR SLOPED NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (5% SLOPE). REFER TO DETAILS AT ENTRY DOOR AT BALCONY SLIDING DOOR
- UNIT DOOR BELL AT 48" AFF - SEE ELEC
- ACCESSIBLE COMPLIANT LAVATORY
- UNIT SIGNAGE
- WATER SUB METER AT HIGH LEVEL INSIDE CEILING SPACE WITH CEILING ACCESS - SEE PLUMBING
- DUAL REMOTE WATER METER DISPLAY. MOUNT HT. AT 4'-0" ABOVE FINISH FLOOR TO TOP OF DISPLAY
- 15" MIN. BREADBOARD
- ENERGY STAR TANKLESS WATER HEATER. SEE PLUMBING DRAWINGS. VERIFY REQUIRED CLEARANCES WITH MFR PRIOR TO FRAMING
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- 42" HIGH GUARD RAIL - REFER TO EXTERIOR ELEVATIONS.
- EXTERIOR LOW WALL - REFER TO EXTERIOR ELEVATION
- 1HR RATED SHAFT - CONTRACTOR TO VERIFY WITH MECHANICAL DRAWINGS
- EXTERIOR EXHAUST LOUVER - SEE MECHANICAL
- GUTTER
- SCUPPER
- CEILING BREAK
- 2" WIDE PVC SOFFIT VENT - SEE DETAIL.
- NOT USED



UNIT PLAN 303 - REFLECTED CEILING PLAN

SCALE
3/16" = 1'-0" 02



UNIT PLAN 303 - FLOOR PLAN

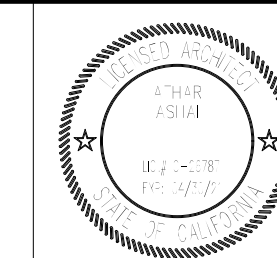
SCALE
3/16" = 1'-0" 01

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008

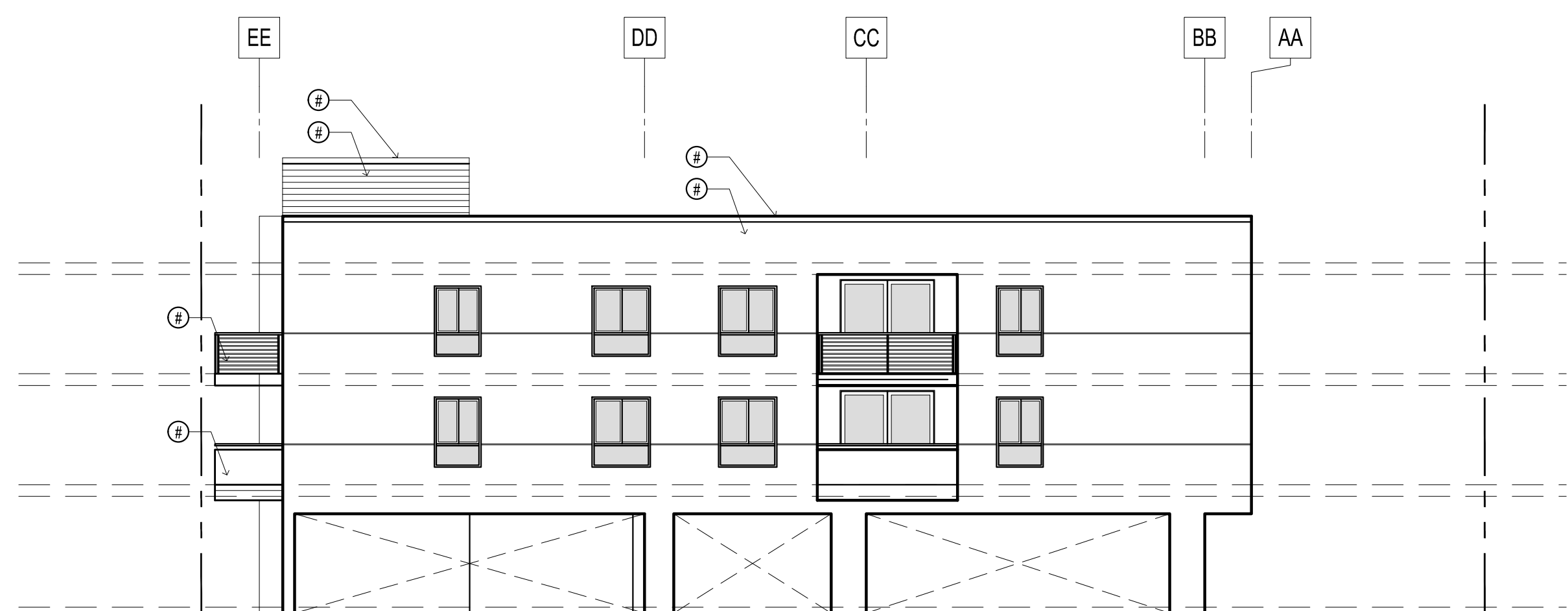


Rev. #	Date/Issue	Notes
1		
2		
3		
4		

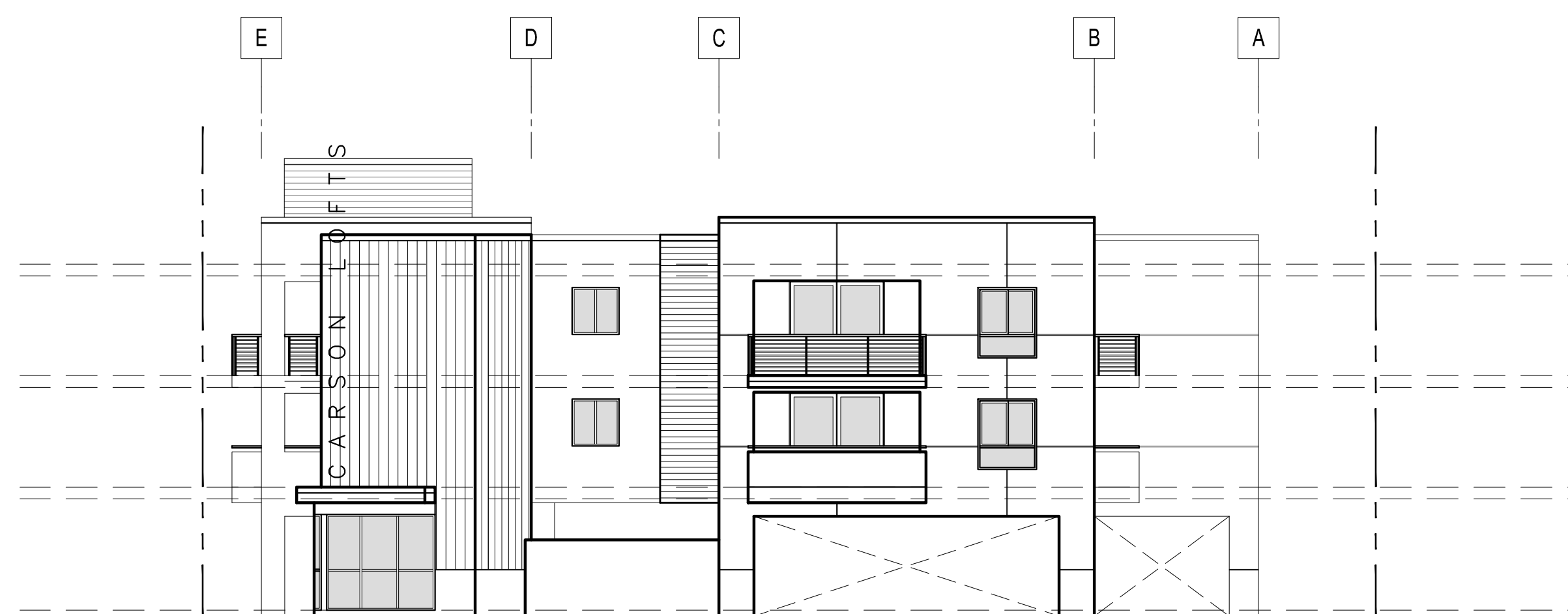
Sheet Title:
ELEVATIONS

Scale: AS NOTED Job Number: J-1908
Date: Aug2021 Sheet Number:
Drawn: orkihaus
Check'd: CTV/RRJ **A-201**

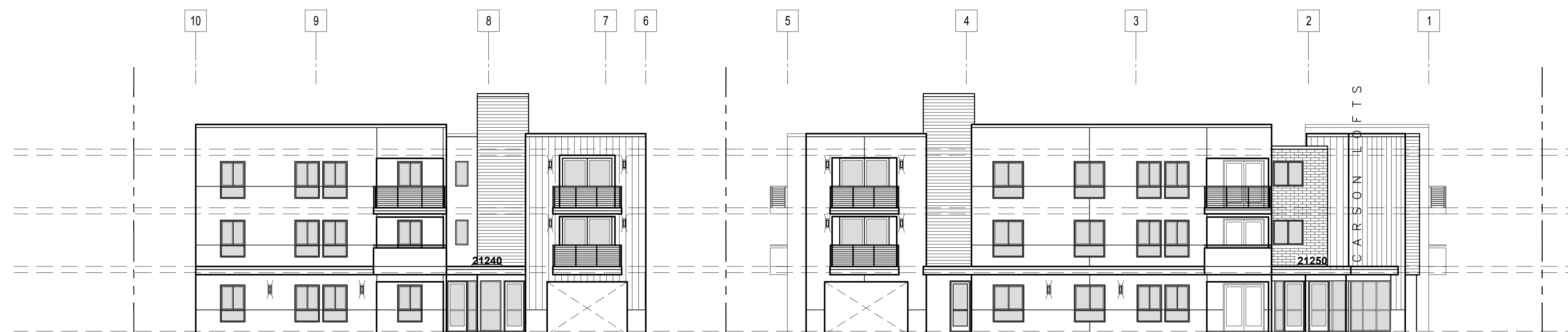
PLOT DATE: 10/20/21



3 SOUTH ELEVATION (FIRE LANE)
SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION (21250 MAIN ST.)
SCALE: 3/32" = 1'-0"



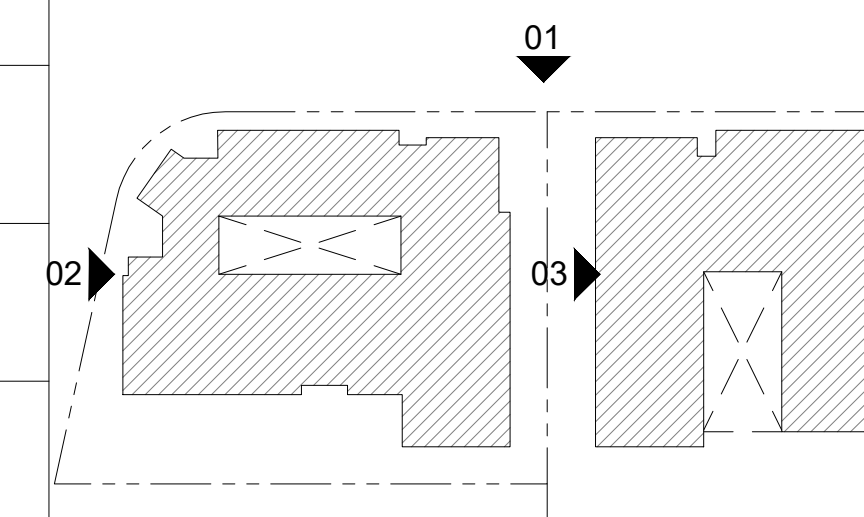
1 WEST ELEVATION (MAIN STREET)
SCALE: 3/32" = 1'-0"

KEYNOTES

ELEVATION REFERENCES

KEYPLAN

HATCH STYLE	DESCRIPTION	DETAIL



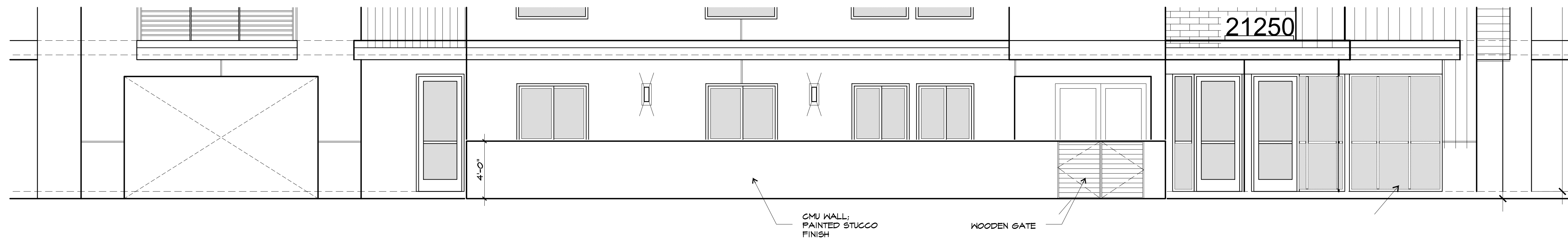
Architect:

ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA CALIFORNIA 90717
PHONE: 424-263-5888
email: artashai@gmail.com

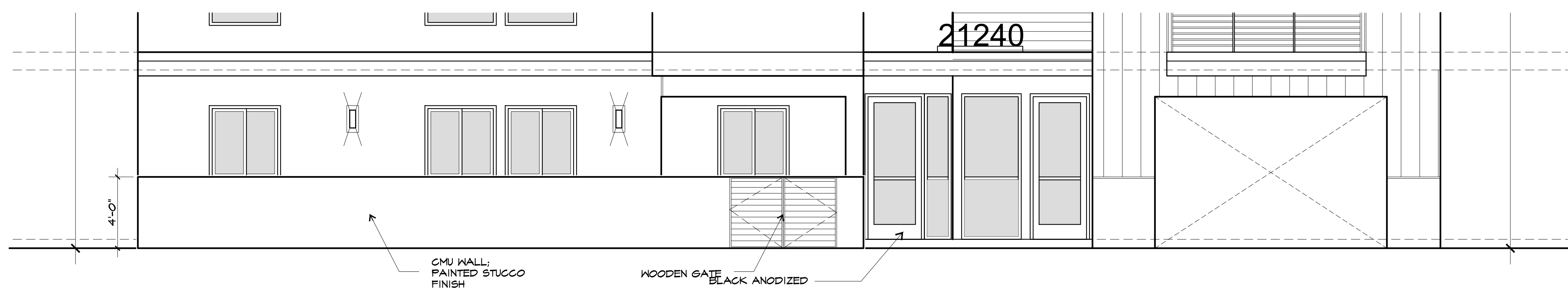
Copyright:
This drawing is the property of
DESIGNER, and it is not to be
reproduced or copied in whole or
part. It is not to be used for any
other project and is to be returned
upon request. The DESIGNER retains
all copyrights for this document.

Owner:

NANCY KIM



② BLOW-UP ELEVATION (21250 MAIN STREET)
SCALE: 1/4" = 1'-0"



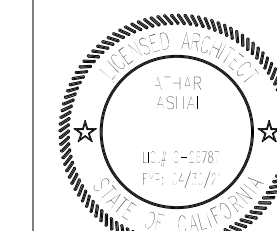
① BLOW-UP ELEVATION (21240 MAIN STREET)
SCALE: 1/4" = 1'-0"

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title:
**BLOW-UP
ELEVATIONS**

Scale:	AS NOTED	Job Number:	J-1908
Date:	May 2021	Sheet Number:	
Drawn:	arkihous		
Check'd:	CTV/RRJ		A-201.1

Architect:

ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA CALIFORNIA 90717
PHONE: 424-263-5888
email: artashai@gmail.com

Copyright:
This drawing is the property of
DESIGNER, and it is not to be
reproduced or copied in whole or
part. It is not to be used for any
other project and is to be returned
upon request. The DESIGNER retains
all copyrights for this document.

Owner:

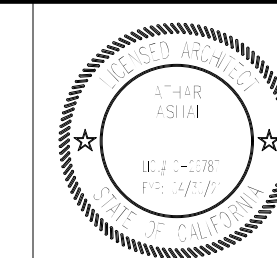
NANCY KIM

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title:
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION:
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

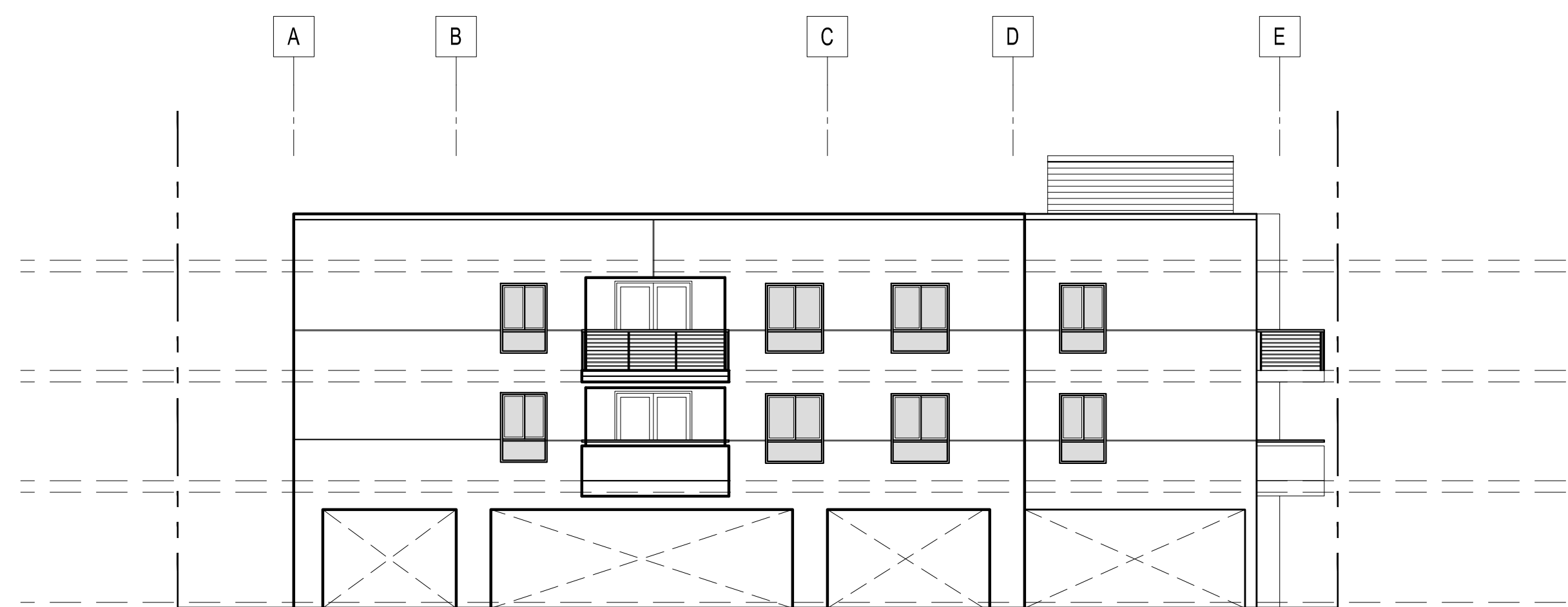
Sheet Title:

ELEVATIONS

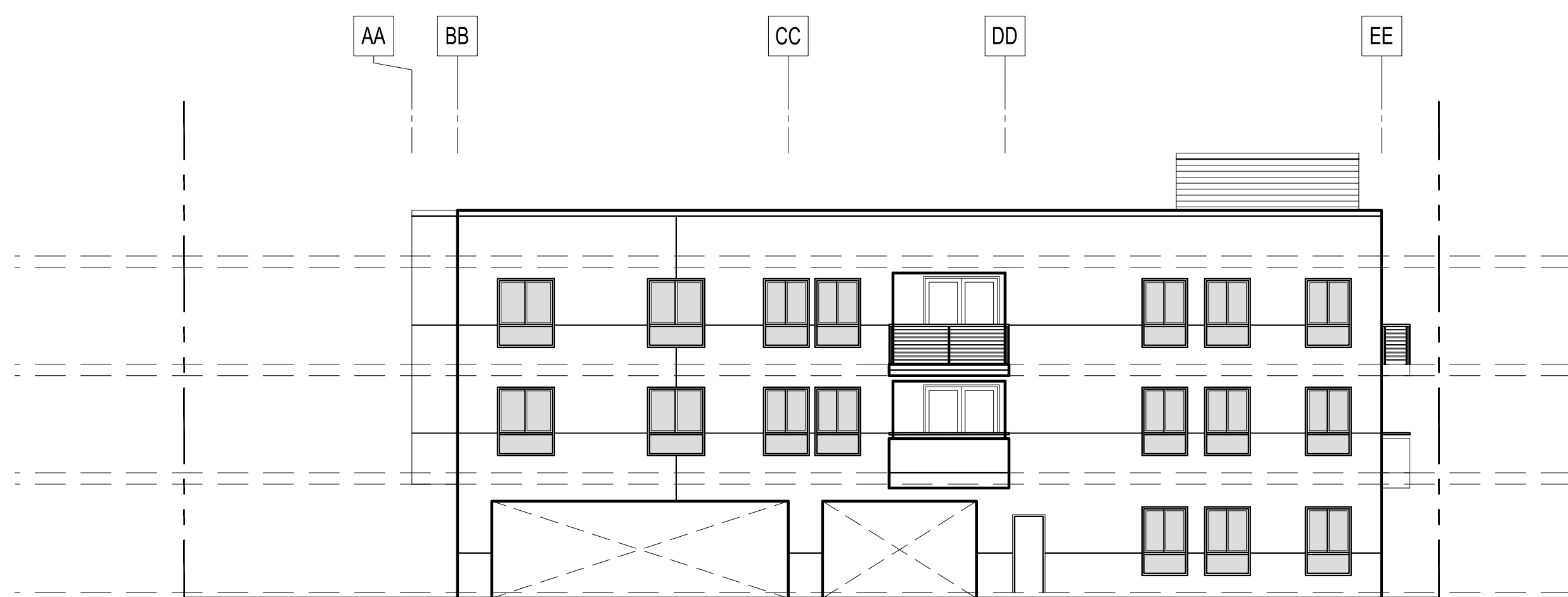
Scale: AS NOTED Job Number: J-1908
Date: Aug2021 Sheet Number:
Drawn: orkihaus
Check'd: CTV/RRJ

A-202

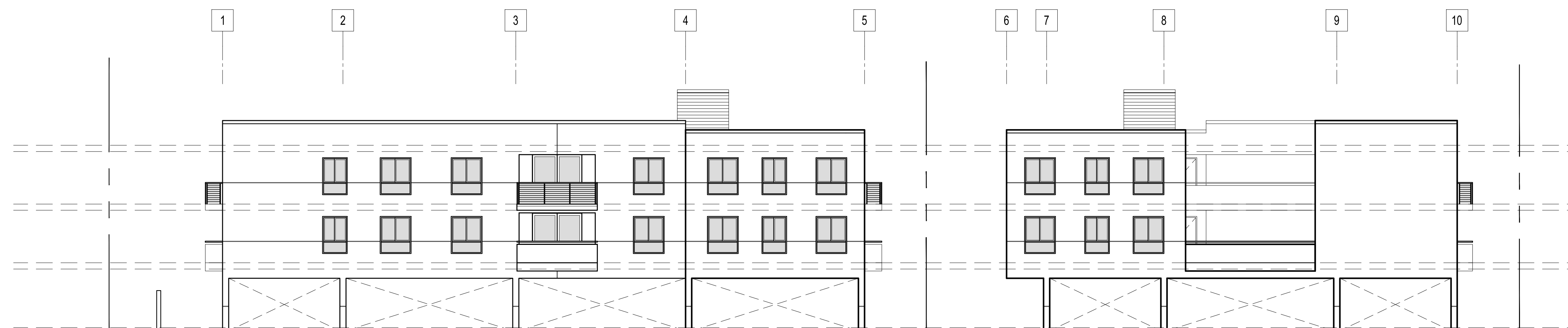
PLOT DATE: 10/20/21



3 NORTH ELEVATION (FIRE LANE)
SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



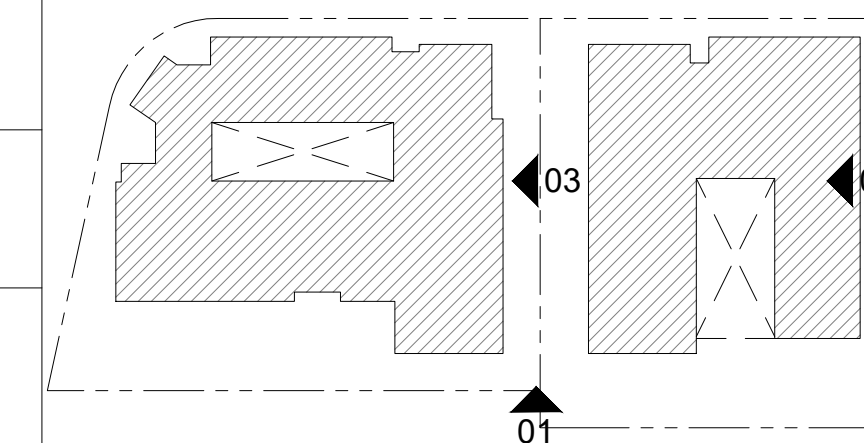
1 EAST ELEVATION
SCALE: 3/32" = 1'-0"

KEYNOTES

ELEVATION REFERENCES

KEYPLAN

HATCH STYLE	DESCRIPTION	DETAIL



Architect:

ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA CALIFORNIA 90717
PHONE: 424-263-5888
email: artashai@gmail.com

Copyright:
This drawing is the property of
DESIGNER, and it is not to be
reproduced or copied in whole or
part. It is not to be used for any
other project and is to be returned
upon request. The DESIGNER retains
all copyrights for this document.

Owner:

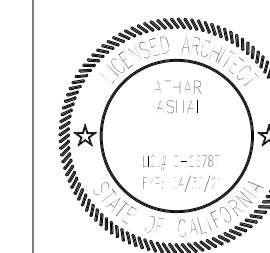
NANCY KIM

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title :
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION :
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title :

RENDERINGS

Scale : AS NOTED Job Number : J-1908
Date : Aug2021 Sheet Number :
Drawn : orkihaus **A-202.1**
Check'd : CTV/RRJ

PLOT DATE: 10/20/21



SOUTHWEST RENDERING



NORTHWEST RENDERING

Architect:

ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA CALIFORNIA 90717
PHONE: 424-263-5888
email: artashai@gmail.com

Copyright:
This drawing is the property of
DESIGNER, and it is not to be
reproduced or copied in whole or
part. It is not to be used for any
other project and is to be returned
upon request. The DESIGNER retains
all copyrights for this document.

Owner:

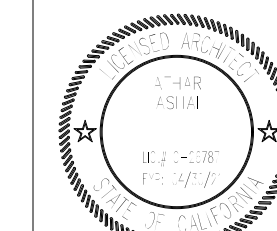
NANCY KIM

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title :
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION :
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title :
SECTIONS

Scale : AS NOTED Job Number : J-1908
Date : Aug2021 Sheet Number :
Drawn : arkihaus
Check'd : CTV/RRJ

A-301

PLOT DATE: 10/20/21

BUILDING SECTION GENERAL NOTES

1. THESE BUILDING SECTIONS ARE PROVIDED TO ILLUSTRATE THE ARCHITECTURAL RELATIONSHIPS BETWEEN STRUCTURAL ELEMENTS, INTERIOR VOLUME CONFIGURATIONS AND BUILDING PROFILES. REFER TO THE STRUCTURAL PLANS AND TRUSS MANUFACTURERS PLANS AND CALCULATIONS FOR ALL FRAMING AND TRUSS INFORMATION.
2. FIRE-RATED WALLS, FLOOR/CEILING AND ROOF/CEILING AND ROOF/CEILING ASSEMBLIES MAY VARY BASED ON THE ACTUAL LOCATION OF A UNIT WITHIN THE BUILDING. SEE COMPOSITE BUILDING PLANS AND CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION.
3. ALL SHAFTS AND VERTICAL OPENINGS SHALL BE PROTECTED PER CBC SECTION 310.8.711 AND DETAILS ON SHEETS ___ AND ___.
4. REFER TO SHEETS ___ FOR WALL SUMMARY AND FIRE RESISTANCE DESIGN SCHEDULE.

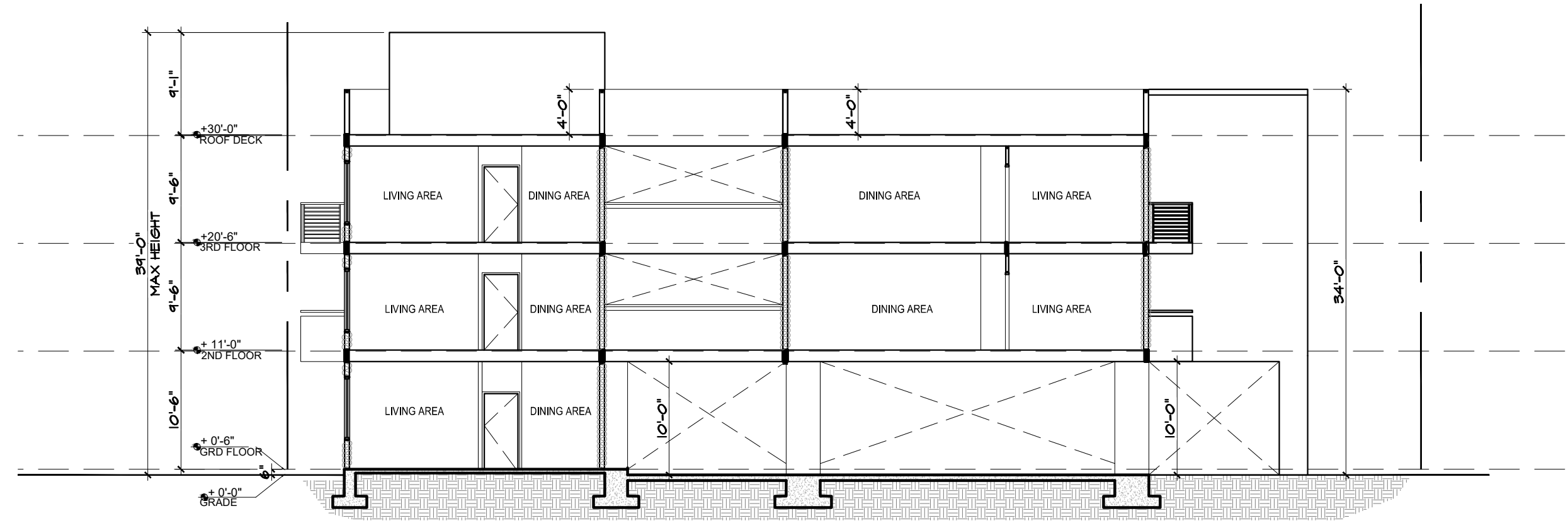
BUILDING INSULATION

ELEMENT	INSULATION REQUIREMENT
EXTERIOR WALL ASSEMBLIES	REFER TO TITLE 24 REPORT
INTERIOR CEILING ASSEMBLIES W/ ATTIC SPACE ABOVE:	REFER TO TITLE 24 REPORT
FLOOR/CEILING ASSEMBLIES OVER GARAGE:	REFER TO TITLE 24 REPORT
INTERIOR OCCUPANCY SEPARATION WALL ASSEMBLIES:	REFER TO TITLE 24 REPORT

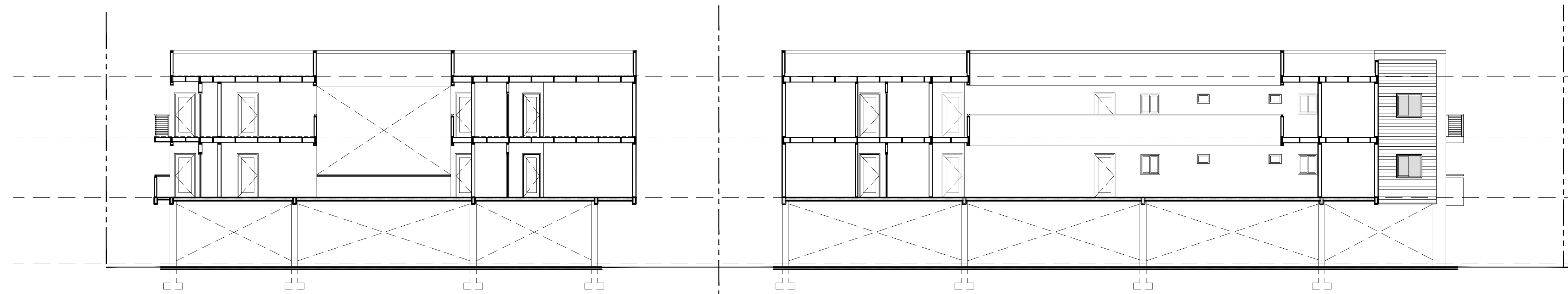
NOTE: REFER TO SPECIFICATION SECTION - FOR ADDITIONAL INFORMATION

BUILDING SECTION KEYNOTES

- 1 1-HOUR RATED EXTERIOR WALL FOR TYPE VB CONSTRUCTION REFER TO
- 2 3-HOUR RATED EXTERIOR WALL FOR TYPE I-A CONSTRUCTION - REFER TO
- 3 1-HOUR RATED FIRE PARTITION (DWELLING UNIT SEPARATION) PER C.B.C. SECTION 419.2 & 708 - REFER TO DETAIL
- 4 1-HOUR RATED SHAFT WALL ENCLOSURE FOR TYPE I-A CONSTRUCTION - REFER TO DETAIL
- 5 3-HOUR RATED INTERIOR LOAD BEARING WALL FOR TYPE I-A CONSTRUCTION - REFER TO DETAIL
- 6 .
- 7 .
- 8 .
- 9 .
- 10 .
- 11 .
- 12 .
- 13 .
- 14 .
- 15 .
- 16 .
- 17 .
- 18 .
- 19 .
- 20 .
- 21 .
- 22 .
- 23 .
- 24 .
- 25 .
- 26 .
- 27 .
- 28 .
- 29 .
- 30 .

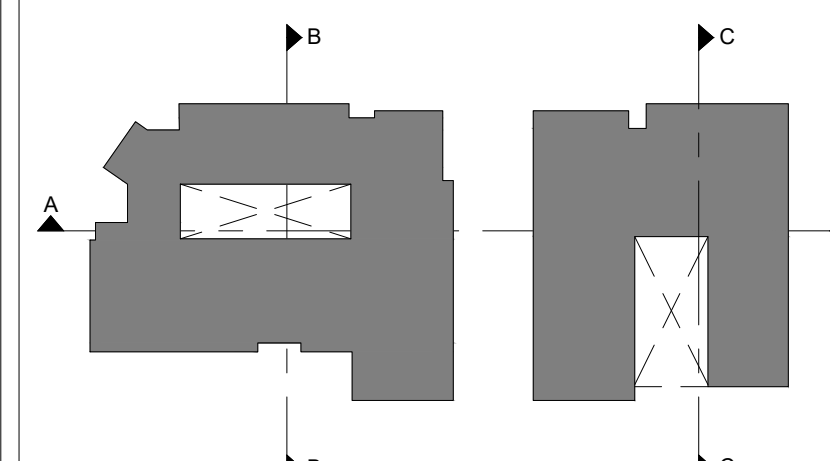


SECTION B SCALE 3/32" = 1'-0" 01



SECTION A SCALE 3/32" = 1'-0" 01

KEYPLAN



Architect:
ART ASHAI, AIA
2173 LOMITA BLVD. #201
LOMITA CALIFORNIA 90717
PHONE: 424-263-5888
email: artashai@gmail.com

Copyright:
This drawing is the property of DESIGNER, and it is not to be reproduced or copied in whole or part. It is not to be used for any other project and is to be returned upon request. The DESIGNER retains all copyrights for this document.

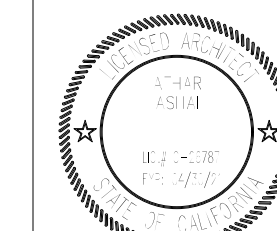
Owner:
NANCY KIM

CARSON LOFTS
21240 MAIN STREET & 21250 MAIN STREET
CARSON, CALIFORNIA 90745

PROJECT INFORMATION:

Project Title :
CARSON APARTMENTS
21240 Main Street Carson, CA 90745
21250 Main Street Carson, CA 90745

LEGAL DESCRIPTION :
APN: 7334-002-007
APN: 7334-002-008



Rev. #	Date/Issue	Notes
1		
2		
3		
4		

Sheet Title :

SECTIONS

Scale : AS NOTED Job Number : J-1908
Date : Aug2021 Sheet Number :
Drawn : arkihaus
Check'd : CTV/RRJ

A-302

PLOT DATE: 10/20/21

BUILDING SECTION GENERAL NOTES

1. THESE BUILDING SECTIONS ARE PROVIDED TO ILLUSTRATE THE ARCHITECTURAL RELATIONSHIPS BETWEEN STRUCTURAL ELEMENTS, INTERIOR VOLUME CONFIGURATIONS AND BUILDING PROFILES. REFER TO THE STRUCTURAL PLANS AND TRUSS MANUFACTURER'S PLANS AND CALCULATIONS FOR ALL FRAMING AND TRUSS INFORMATION.
2. FIRE-RATED WALLS, FLOOR/CEILING AND ROOF/CEILING AND ROOF/CEILING ASSEMBLIES MAY VARY BASED ON THE ACTUAL LOCATION OF A UNIT WITHIN THE BUILDING. SEE COMPOSITE BUILDING PLANS AND CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION.
3. ALL SHAFTS AND VERTICAL OPENINGS SHALL BE PROTECTED PER CBC SECTION 310.8.711 AND DETAILS ON SHEETS ___ AND ___.
4. REFER TO SHEETS ___ FOR WALL SUMMARY AND FIRE RESISTANCE DESIGN SCHEDULE.

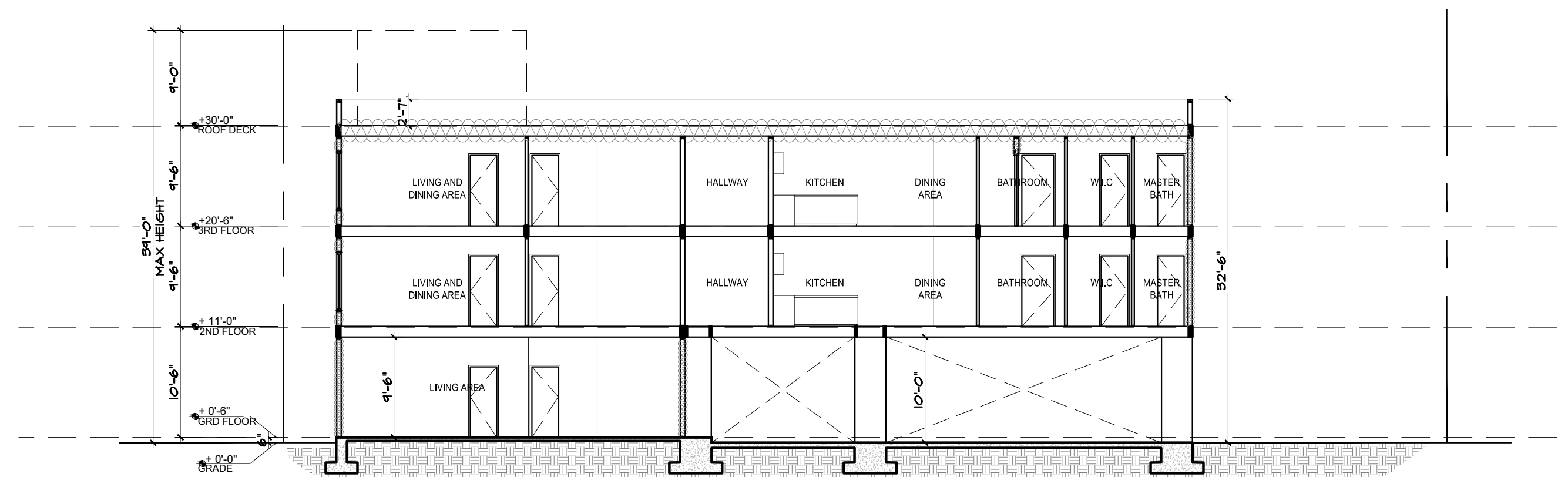
BUILDING INSULATION

ELEMENT	INSULATION REQUIREMENT
EXTERIOR WALL ASSEMBLIES	REFER TO TITLE 24 REPORT
INTERIOR CEILING ASSEMBLIES W/ ATTIC SPACE ABOVE:	REFER TO TITLE 24 REPORT
FLOOR/CEILING ASSEMBLIES OVER GARAGE:	REFER TO TITLE 24 REPORT
INTERIOR OCCUPANCY SEPARATION WALL ASSEMBLIES:	REFER TO TITLE 24 REPORT

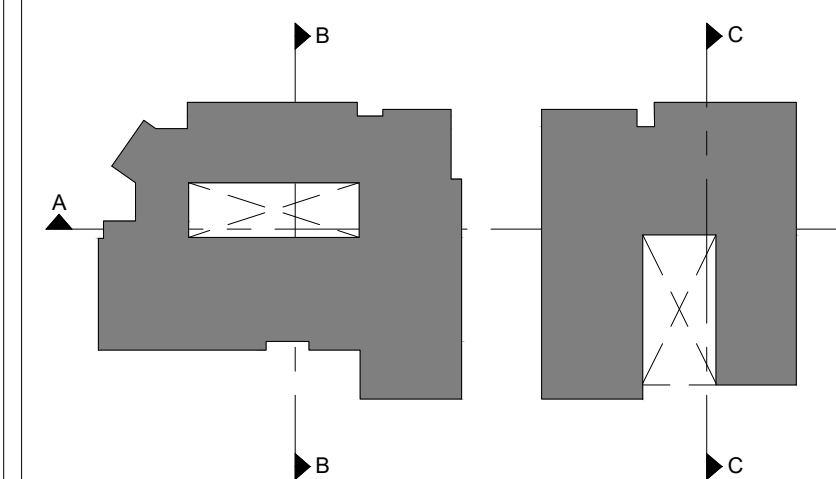
NOTE: REFER TO SPECIFICATION SECTION - FOR ADDITIONAL INFORMATION

BUILDING SECTION KEYNOTES

- 1 1-HOUR RATED EXTERIOR WALL FOR TYPE VB CONSTRUCTION REFER TO
- 2 3-HOUR RATED EXTERIOR WALL FOR TYPE IA CONSTRUCTION - REFER TO
- 3 1-HOUR RATED FIRE PARTITION (DWELLING UNIT SEPARATION) PER C.B.C. SECTION 419.2 & 708 - REFER TO DETAIL
- 4 1-HOUR RATED SHAFT WALL ENCLOSURE FOR TYPE 1-A CONSTRUCTION - REFER TO DETAIL
- 5 3-HOUR RATED INTERIOR LOAD BEARING WALL FOR TYPE IA CONSTRUCTION - REFER TO DETAIL
- 6 .
- 7 .
- 8 .
- 9 .
- 10 .
- 11 .
- 12 .
- 13 .
- 14 .
- 15 .
- 16 .
- 17 .
- 18 .
- 19 .
- 20 .
- 21 .
- 22 .
- 23 .
- 24 .
- 25 .
- 26 .
- 27 .
- 28 .
- 29 .
- 30 .



KEYPLAN



GENERAL NOTES:

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO APPENDIX CHAPTER 33 AND CHAPTER 71 (LATEST EDITION) OF THE LOS ANGELES COUNTY BUILDING CODE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
- ANY MODIFICATIONS OF OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL. A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF THE GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITTEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADE MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADE MEETING.
- APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE LOS ANGELES COUNTY BUILDING CODE AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOS ANGELES COUNTY CODE, TITLE 12, SECTION 2.12.030 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS. (MORE RESTRICTIVE CONSTRUCTION ACTIVITY TIMES MAY GOVERN, AS REQUIRED BY THE DEPARTMENT OF REGIONAL PLANNING AND SHOULD BE SHOWN ON THE GRADING PLANS WHEN APPLICABLE.)
- CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING HAS BEEN MEASURES HAVE BEEN TAKEN:
 - THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
 - IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
- NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.56 OF THE LOS ANGELES COUNTY ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.
- THE STANDARD RETAINING WALL DETAILS SHOWN ON THE GRADING PLANS ARE FOR REFERENCE ONLY. STANDARD RETAINING WALLS ARE NOT CHECKED, PERMITTED, OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL STANDARD RETAINING WALLS.

NOTE: THIS NOTE ONLY APPLIES TO STANDARD RETAINING WALLS. GEOGRID FABRIC AND SEGMENTAL RETAINING WALLS DO NOT REQUIRE A SEPARATE RETAINING WALL PERMIT. DETAILS AND CONSTRUCTION NOTES FOR ALL GEOGRID WALLS MUST BE ON THE GRADING PLAN.

- A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION 3307.6 OF THE LOS ANGELES COUNTY BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND A FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
- IF GRADING AUTHORIZED BY THIS PLAN IS TO EXTEND THROUGH THE RAINY SEASON, NOVEMBER 1 THROUGH APRIL 15 OF THE FOLLOWING YEAR, SEPARATE UPDATED PLANS FOR EROSION CONTROL MUST BE SUBMITTED PRIOR TO OCTOBER PER SECTION 3319.3 OF THE LOS ANGELES COUNTY BUILDING CODE.
- TRANSFER OF RESPONSIBILITY: IF THE CIVIL ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.

INSPECTION NOTES:

- THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK. (SECTION 3317 OF THE BUILDING CODE.)
 - INITIAL.** WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED OR OTHERWISE PREPARED FOR FILL. FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORM WATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
 - ROUGH.** WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, SWALES AND BERMS INSTALLED AT THE TOP OF THE SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
 - FINAL.** WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED, IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.

- IN ADDITION TO THE INSPECTION REQUIRED OF THE BUILDING OFFICIAL FOR REGULAR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTIONS 3317 AND 3318 OF THE LOS ANGELES COUNTY BUILDING CODE.
- ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION 3317.6 OF THE LOS ANGELES COUNTY BUILDING CODE.
- THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION 3318.1 OF THE LOS ANGELES COUNTY BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.
- FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION 3318 OF THE LOS ANGELES COUNTY BUILDING CODE.

DRAINAGE NOTES:

- ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- ALL CONSTRUCTION AND GRADING WITHIN A STORM DRAIN EASEMENT ARE TO BE DONE PER PRIVATE DRAIN PD NO. OR MISCELLANEOUS TRANSFER DRAIN MTD NO.
- ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER. WEEKLY STATUS REPORTS SHALL BE SUBMITTED BY THE FIELD ENGINEER TO THE LOCAL BUILDING AND SAFETY DISTRICT OFFICE.

STORMWATER POLLUTION PLAN NOTES

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME _____ (OWNER OR AUTHORIZED AGENT OF THE OWNER)
 SIGNATURE _____ DATE _____ (OWNER OR AUTHORIZED AGENT OF THE OWNER)

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 1993, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY COUNTY INSPECTORS)

- | | |
|---|--|
| CA001-DEWATERING OPERATIONS | ESC20-GEOTEXTILES AND MATS |
| CA002-PAVING OPERATIONS | ESC21-DUST CONTROLS |
| CA003-STRUCTURE CONSTRUCTION AND PAINTING | ESC22-TEMPORARY STREAM CROSSING |
| CA010-MATERIAL DELIVERY AND STORAGE | ESC23-CONSTRUCTION ROAD STABILIZATION |
| CA011-MATERIAL USE | ESC24-STABILIZED CONSTRUCTION ENTRANCE |
| CA012-SPILL PREVENTION AND CONTROL | ESC30-EARTH DIKE |
| CA020-SOLID WASTE MANAGEMENT | ESC31-TEMPORARY DRAINS AND SWALES |
| CA021-HAZARDOUS WASTE MANAGEMENT | ESC32-SLOPE DRAIN |
| CA022-CONTAMINATED SOIL MANAGEMENT | ESC40-OUTLET PROTECTION |
| CA023-CONCRETE WASTE MANAGEMENT | ESC41-CHECK DAMS |
| CA030-VEHICLE AND EQUIPMENT CLEANING | ESC42-SLOPE ROUGHENING/TERRACING |
| CA031-VEHICLE AND EQUIPMENT FUELING | ESC50-SILT FENCE |
| CA032-VEHICLE AND EQUIPMENT MAINTENANCE | ESC51-STRAW BALE BARRIERS |
| CA040-EMPLOYEE/SUBCONTRACTOR TRAINING | ESC52-SAND BAG BARRIERS |
| ESC01-SCHEDULING | ESC53-BRUSH OR ROCK FILTER |
| ESC02-PRESERVATION OF EXISTING VEGETATION | ESC54-STORM DRAIN INLET PROTECTION |
| ESC10-SEEDING AND PLANTING | ESC55-SEDIMENT TRAP |
| ESC11-MULCHING | ESC56-SEDIMENT BASIN |

LEGEND

- C.B. - - - - - CATCH BASIN
- C.F. - - - - - CURB FACE
- CONC. - - - - - CONCRETE
- DWY. - - - - - DRIVEWAY
- F.F. - - - - - FINISHED FLOOR
- F.G. - - - - - FINISHED GRADE
- F.H. - - - - - FIRE HYDRANT
- F.L. - - - - - FLOW LINE
- F.S. - - - - - FINISHED SURFACE
- G.B. - - - - - GRADE BREAK
- H.P. - - - - - HIGH POINT
- MAX. - - - - - MAXIMUM
- MIN. - - - - - MINIMUM
- P.L. - - - - - PROPERTY LINE
- PVMT. - - - - - PAVEMENT
- R. - - - - - RADIUS
- T.C. - - - - - TOP OF CURB
- T.C.B. - - - - - TOP OF CATCH BASIN
- T.W. - - - - - TOP OF WALL
- INV. - - - - - INVERT
- CL. - - - - - CENTER LINE

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- (634) - - - - - EXISTING ELEVATION
- 634 - - - - - PROPOSED ELEVATION
- - - - - FENCE
- ⊙ - - - - - FIRE HYDRANT
- - - - - FLOW LINE
- - - - - SLOPE
- ▭ - - - - - CONCRETE
- ▭ - - - - - PROPOSED WALL
- ▭ - - - - - EXISTING WALL
- ▭ - - - - - RIDGE LINE
- - - - - GRADE BREAK LINE

LEGAL DESCRIPTION

PARCEL 1:

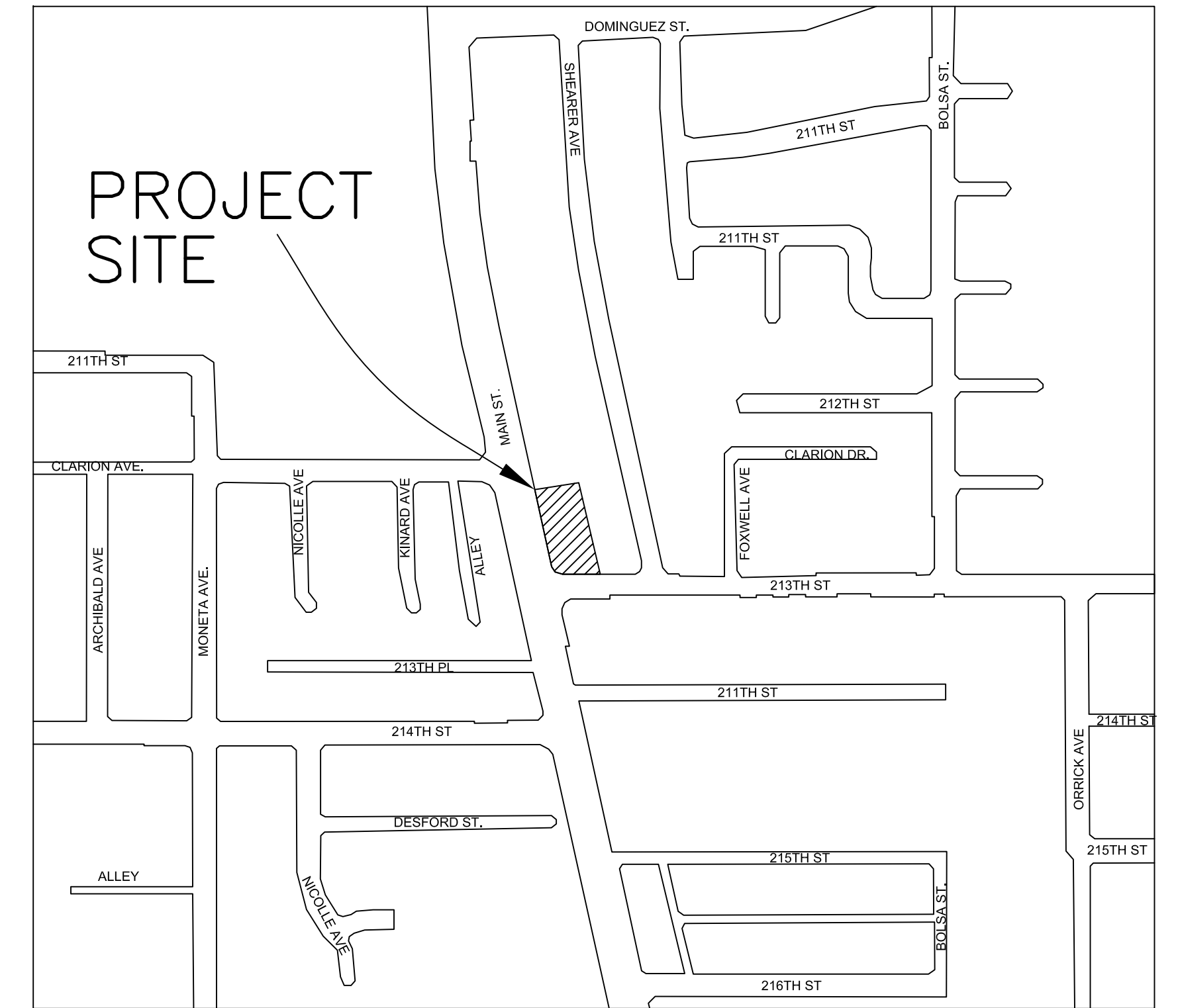
LOT 7 OF TRACT NO. 8018 AS PER MAP RECORDED IN BOOK 165 PAGES 30-31 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND THE WESTERLY 10 FEET OF THAT PORTION OF THE VACATED ALLEY ADJOINING SAID LOT ON THE EASTERLY LINE.

ALSO THAT TRACT NO. 8018 AS PER MAP RECORDED IN BOOK 165 PAGES 30-31 OF MAPS IN THE OFFICE OF THE COUNTY, LIVING WESTERLY OF THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT.

PARCEL 2:

LOT 8 OF TRACT 8018 AS PER MAP RECORDED IN BOOK 165 PAGES 30-31 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ALSO THAT PORTION OF THE SOUTH HALF OF AN ALLEY AS SHOWN ON SAID TRACT, VACATED BY RESOLUTION NO 142 RECORDED AS INSTRUMENT NO. 29088 ON OCT. 21, 1968 OFFICIAL RECORDS OF SAID COUNTY, LYING WESTERLY OF THE NORTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT.



VICINITY MAP
NOT TO SCALE

CONSTRUCTION NOTES

- INSTALL 12"x12" GRATE DRAIN(ALHABRA FDRY. STD. 2011)
- 4" DIA. PVC PIPE(SCHEDULE 40)
- 6" CONC. ON COMPACTED PAVEMENT
- 6' HIGH CONC BLOCK WALL PER APPROVED ARCHITECTURAL PLANS.
- LANDSCAPE AREA PER APPROVED LANDSCAPE PLANS.
- CONST. 4" DIA CAST IRON PRESSURED PIPE
- DUAL PUMPING SYSTEM PER SEPARATE PERMIT
- CONST. CONC DRIVEWAY PER APWA STD PLAN

ADDITIONAL NOTES

- THIS GRADING PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF JEFF DAUN. IT SHALL NOT BE TRANSFERRED TO OR USED BY A THIRD PARTY WITHOUT THE PRIOR WRITTEN CONSENT OF THIS OFFICE.
- THE GEOTECHNICAL REPORT PREPARED BY NORCAL ENGINEERING, DATED JANUARY 25, 2005 (PROJECT NO. 11869-05) IS PART OF THIS GRADING PLAN AND THE CONTRACTOR SHALL COMPLY WITH ALL ITS RECOMMENDATIONS AND REQUIREMENTS.
- ALL DRAINAGE PIPES TO BE PVC SCHEDULE 40 MINIMUM OR EQUIVALENT WITH 4" MINIMUM DIAMETER
- RETAINING WALLS REQUIRES SEPARATE PERMIT.
- CURB DRIAN REQUIRES SEPARATE PERMIT FROM ENGINEERING DEPT.
- THE CONTRACTOR SHALL COMPLY WITH CITY OF CARSON ORDINANCE RELATED TO STANDARD URBAN STORMWATER MITIGATION PLAN (STATE OF CALIFORNIA MANDATED) AND COMPLY WITH NPDES PERMIT REQUIREMENTS.
- THE SOILS ENGINEER OF RECORDS SHALL INSPECT AND APPROVE THE FOUNDATION EXCAVATIONS BEFORE STEEL OR CONCRETE IS PLACED.
- FOR DETAIL OF THE FOOTING AND FOUNDATION, REFER TO THE APPROVED STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- VOLUME OF CUT AND FILL
 CUT : 1,500 C.Y.
 FILL : 1,500 C.Y.
 OVER EX : _____

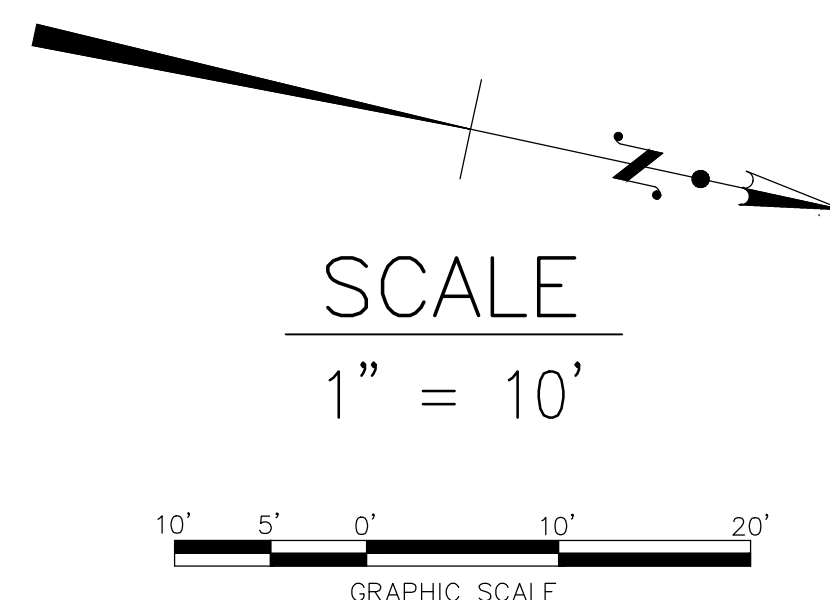
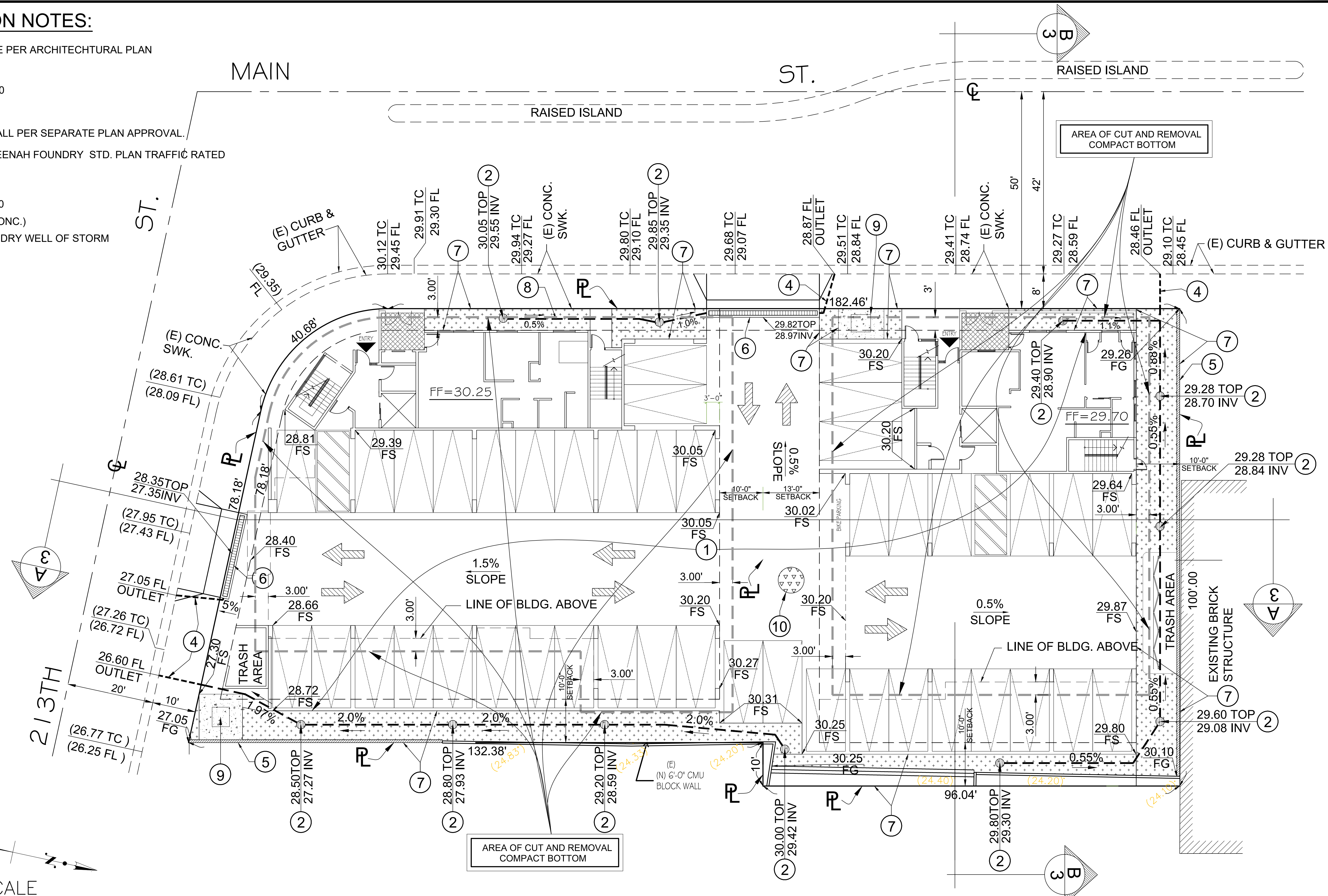
GPC NO. XXXXXXXXX
CUP XXXXXX



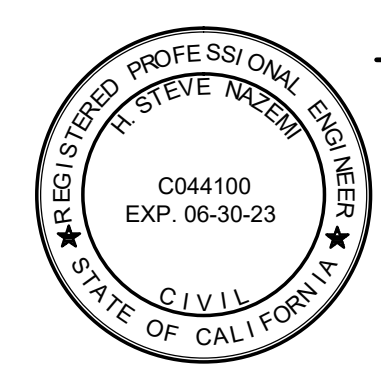
SOILS ENGINEER: GSS INC. 11823 SAUNSON AVE #46 SANTA FE SPRING, CA 90670 TEL: (562) 696-6062	APPROVAL RECOMMENDED BY: APPROVED BY: _____ DATE _____ CITY OF CARSON	REVISION DATE △ _____ △ _____ △ _____	PROPERTY OWNER: NANCY KIM 21240-21250 MAIN STREET CARSON, CA 90745		DHS & ASSOCIATES, INC. 275 CENTENNIAL WAY, #205 TUSTIN, CA 92780-3709 (714) 665-6569 H. STEVE NAZEMI 10/08/2021 DATE	GRADING AND DRAINAGE PLAN FOR 7 DETACHED TOWNHOUSES	
						SCALE: 1"=10' DATE: 10/08/2021 TR53709	DRAWN BY: S.N. REVISED: 21240-21250 MAIN STREET CARSON, CA 90745

CONSTRUCTION NOTES:

- ① CONC. SLAB ON GRADE PER ARCHITECTURAL PLAN
- ② AREA DRAIN 4" DIA.
- ③ 4" DIA. PVC PIPE SCH.40
- ④ 4" DIA. CIP
- ⑤ CONST BLOCK/RET. WALL PER SEPARATE PLAN APPROVAL.
- ⑥ TRENCH DRAIN PER NEENAH FOUNDRY STD. PLAN TRAFFIC RATED R-4996-A1
- ⑦ GRADE & LANDSCAPE
- ⑧ 3" DIA. PVC PIPE SCH.40
- ⑨ TRANSFORMER PAD(CONC.)
- ⑩ INSTALL INFILTRATION DRY WELL OF STORM WATER MITIGATION



REVISION	DATE
△	
△	
△	



DHS & ASSOCIATES, INC.
 275 CENTENNIAL WAY, #205
 TUSTIN, CA 92780-3709
 (714) 665-6569
 H. STEVE NAZEMI
 10/20/2021
 DATE

GRADING AND DRAINAGE PLAN FOR 7 DETACHED TOWNHOUSES	
SCALE: 1"=10'	DRAWN BY: S.N.
DATE: 10/08/2021	REVISED:
21240-21250 MAIN STREET CARSON, CA 90745	
SHEET 2 OF 3	JOB NO.

