

Perimeter Roadways

The lighting for perimeter roadways shall provide adequate illumination for safe and efficient vehicular travel. Roadway lighting fixtures shall either be equipped with glare shields or be of a full cutoff type reflector system. On-site circulation roads will conform to an "Intermediate" classification characterized by medium-sized residential and business developments with frequent moderately heavy nighttime pedestrian activity. The entrance roads will be designed to conform to a "Commercial" classification characterized by dense business developments with heavy nighttime vehicular and pedestrian traffic.

Interior Roadways

The lighting for interior roadways shall provide adequate illumination for safe and efficient vehicular travel. Roadway lighting fixtures shall either be equipped with glare shields or be of a full cutoff type reflector system. Lighting of roadways categorized as Scenic Byways shall be of a minimal level, with fixtures being shielded to prevent glare. Circulation roads within the mixed-use/residential sites will be designed to conform to an "Intermediate" classification defined by medium-sized residential and business developments with frequent moderately heavy nighttime pedestrian activity. Entrance roads to the Project Site will be designed to conform to a "Commercial" classification defined by dense business developments with heavy nighttime vehicular and pedestrian traffic.

Retail Exterior

The lighting for the exterior of retail buildings and spaces shall be safe and attractive to customers. This can be achieved mainly with entrance accent lighting and façade floodlighting. "Entrances" and "Façade Lighting," as listed in Table 6.7, refer to entrances of dense retail developments with heavy nighttime vehicular and pedestrian traffic.

Office Exterior

The lighting for the exterior of office buildings and spaces shall be to a level that provides security and egress. If the office use is part of a mixed-use building, then the retail criteria can override the values shown in Table 6.7. "Entrances," as shown in Table 6.7, refer to entrances that are unoccupied at nighttime, requiring lighting for entrance identification. Egress lighting shall be provided at a level that provides security and safe egress.

Residential Exterior

The lighting for the exterior of residential buildings and spaces shall be to a level that provides security and safe egress. If part of a mixed-use building, then the retail criteria can override the lower values.

At-Grade Parking

The lighting for at-grade parking lots shall be to a level that provides safe movement of vehicles and pedestrians, and the security and safety of customers and employees, as approved by the Sheriff's Department. Lighting fixtures for parking lots shall either be equipped with spill control and/or with full cutoff capability at light poles at property perimeter with no cut-off at parking field interior poles. Lighting fixture standard height shall not be in excess of what is necessary to meet with recommended minimum illuminance levels identified in Table 6.7.

Parking Structures/Parking Under Raised Podiums

The lighting for parking structures and parking under raised podiums shall be provided at a level that enhances pedestrian safety and visibility. These recommended values should apply to those parking

structures used by apartment building and/or commercial developments.

Pedestrian Sidewalks and Walkways

The lighting for pedestrian sidewalks and bikeways shall be to a level that increases pathway visibility and safety of pedestrians. For the purposes of these standards and guidelines, “Intermediate” refers to medium-sized residential and business developments with frequent moderately heavy nighttime pedestrian activity, and “Commercial” refers to dense business developments with heavy nighttime vehicular and pedestrian traffic. Pedestrian scale lighting should be provided along interior streets, as deemed appropriate by the Community Development Director.

Landscape Illumination

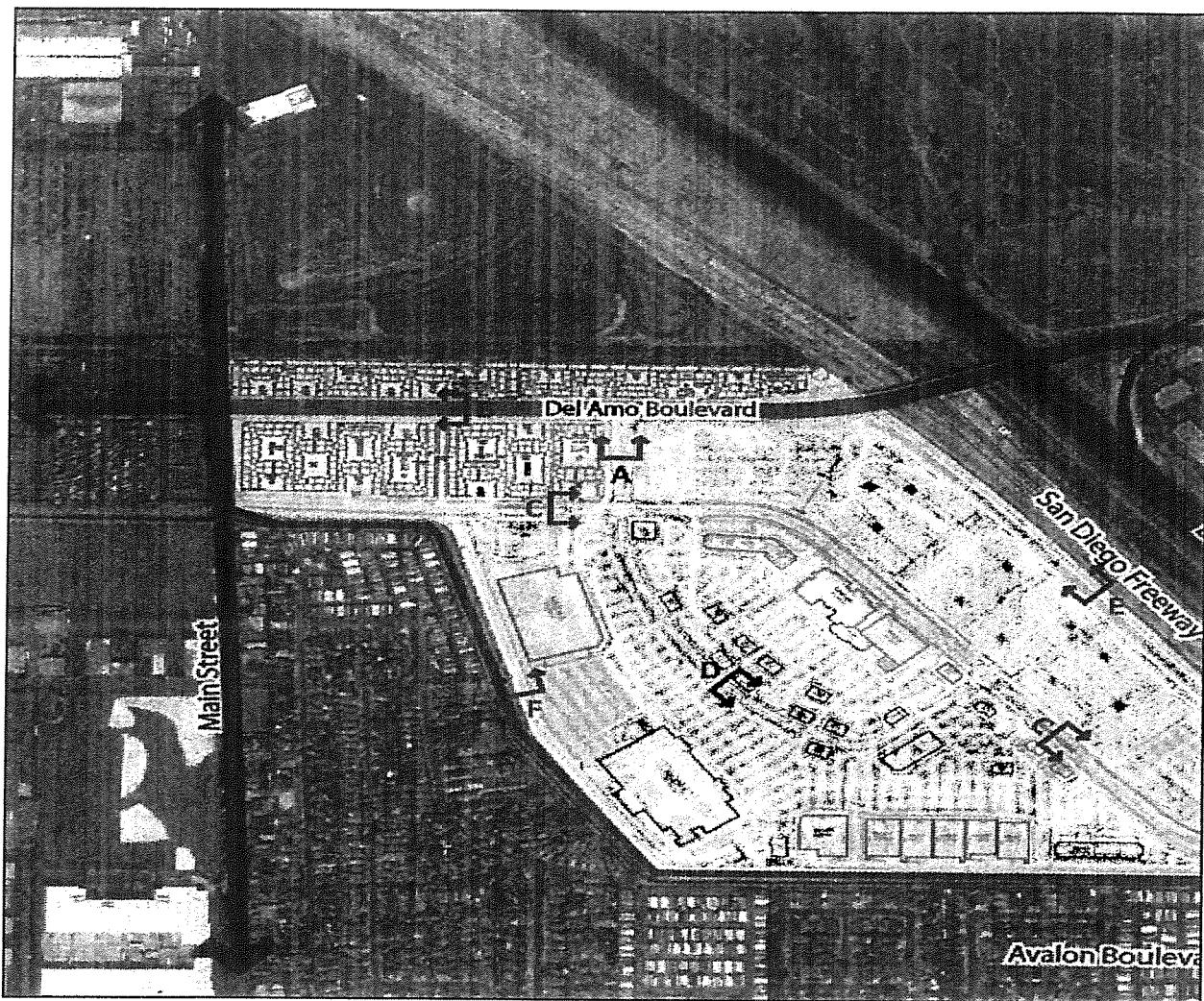
In vertical landscape, i.e., palm and decorative trees with foliage, up-lighting illumination is encouraged.

6.7.2 Light Control Methods

- A. **Glare/Light Distribution:** Offensive or unattractive lighting results from excessive contrast, or glare. Glare conditions usually result from highly visible lamps (light bulbs) within landscape, streetlights, parking, security, or entertainment lighting. Proper design and selection of light fixtures, mounting heights, and placement will control the visibility and perceived brightness of light sources from outside or within the Project Site, and therefore limit the perception of glare. The lighting standards establish criteria to control the light output, mounting height, and placement of fixtures to reduce glare.
- B. **All Parking and Roadway light poles** from 12 ft. high to 40 ft. high shall be in accordance with Section 5.106.8 of the CALGreen Code which limits light fixture brightness adjacent to the property line of the Project Site.
- C. **Pole Height Limits:** Light pole height limits are established to prevent light trespass from the Project Site onto adjacent properties. These height restrictions will not eliminate complete visibility of the pole itself. Height restrictions in combination with the shielding and glare control restrictions will decrease visibility of the high brightness lamps within the pole fixtures and will prevent stray light from extending over the property line of the Project Site. Lighting shall be constructed, shielded and directed so that adjacent residences are not impacted by light or glare coming from the Project Site.

6.7.3 Site Lighting Exhibits

Lighting design exhibits as shown on Figures 6.7a through 6.7g demonstrate conceptual lighting design for each area with intended pole locations and heights, and luminaire head orientations. Location of streetlights is subject to the approval of the City Engineer and the Community Development Director, and may be placed in either the parkway or the medians.



LEGEND

A. Del Amo Entrance	D. Typical Street B
B. Del Amo Boulevard	E. Freeway Edge (I-405 Freeway/Commercial Interface)
C. Typical Street A	F. Typical Residential/Commercial Interface



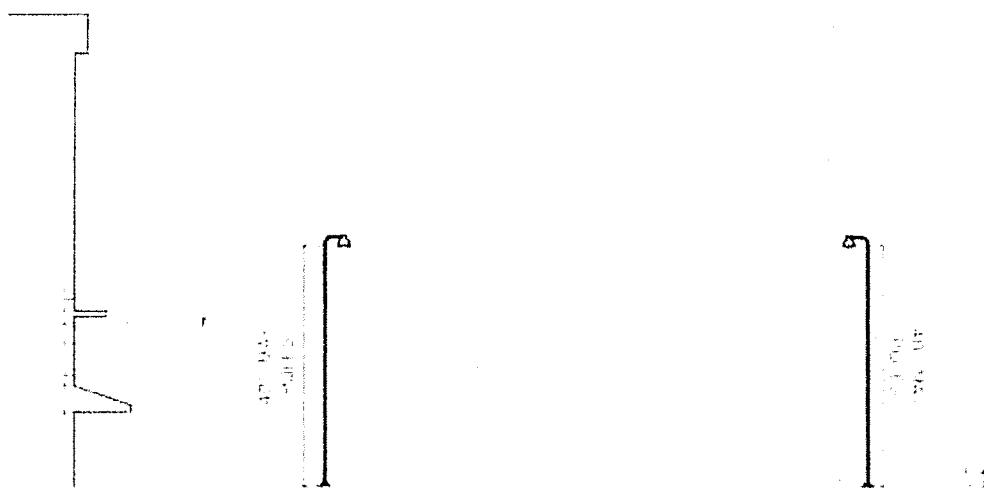
Note: This is a graphic representation of a planning concept. All graphics in this document are conceptual and should not be interpreted literally. Other solutions, locations and/or concepts may be proposed and reviewed during site plan and design review and other permit and mapping processes.

Source: RE|Solutions LLC, 2017

Figure 6.7a Conceptual Site Lighting Exhibit Key Map

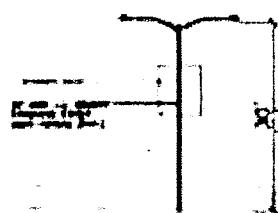
Note: All light fixture poles, fixture heads, and lamps shall be coordinated between developer(s) and the City for consistent design

Figure 6.7b Section A - Del Amo Entrance



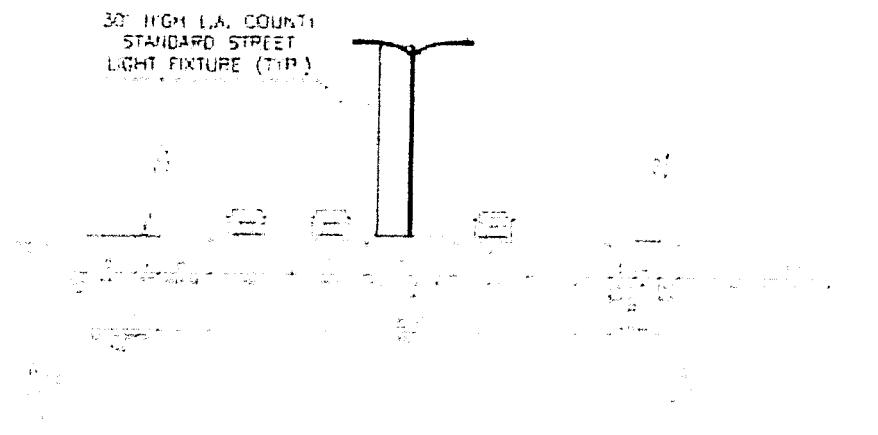
Source: RE|Solutions LLC, 2017

Figure 6.7c Section B - Del Amo Boulevard



Source: RE|Solutions LLC, 2017

Figure 6.7d Section C - Typical Street A



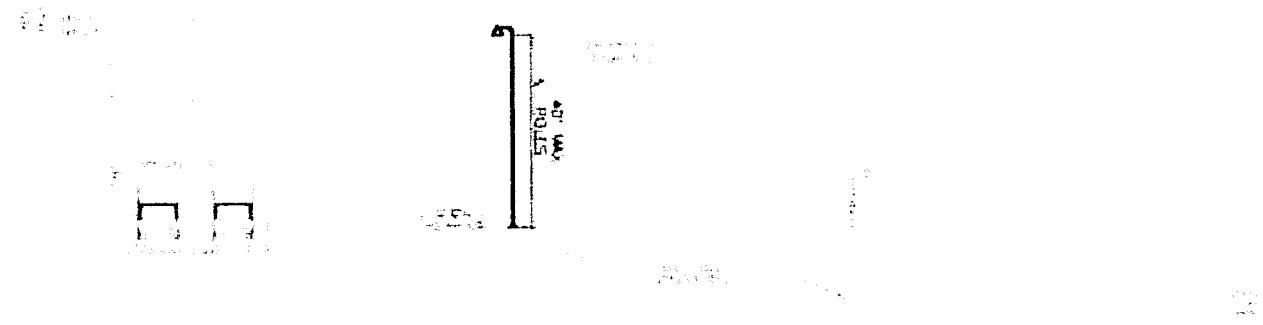
Source: RE|Solutions LLC, 2017

Figure 6.7e Section D - Street B (Private)



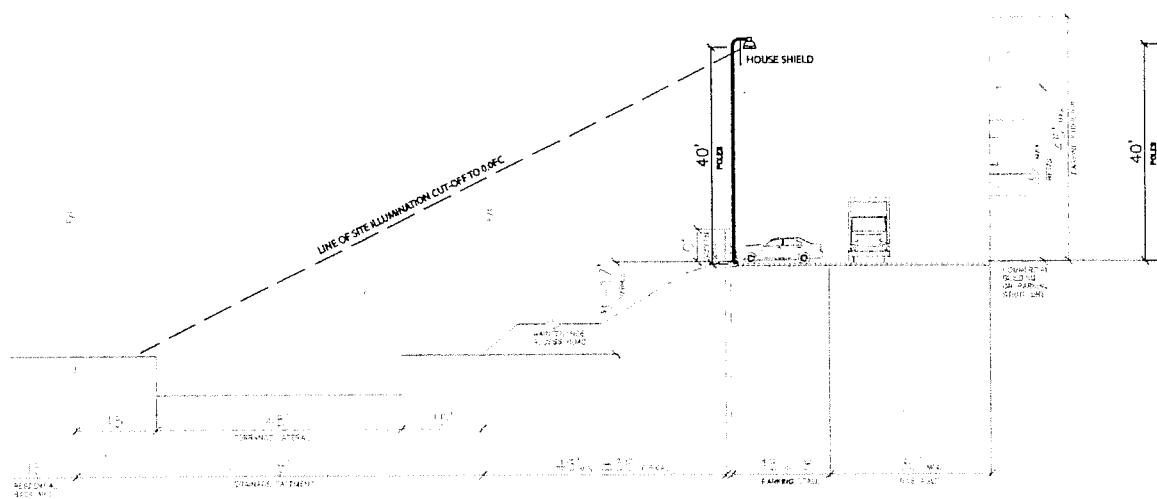
Source: RE|Solutions LLC, 2017

Figure 6.7f Section E - Freeway Edge (I-405/Project Interface)



Source: RE|Solutions LLC, 2017

Figure 6.7g Section F - Channel-Adjacent Slope (Residential/Project Interface)



Source: The Planning Center, 2010.

6.8 Service, Trash and Utility Areas

- A. Service, maintenance, storage and trash areas shall be located in discreet places to the extent feasible while still allowing convenient access for each tenant, and screened with landscaping from adjacent public rights-of-way, public plazas, pedestrian corridors and building fronts.
- B. Except as set forth in Section 6.8.C and D, all trash and garbage bins shall be stored in an enclosure and designed to architecturally integrate within the overall design theme of the development. Except as set forth in Section 6.8.C, all exterior trash enclosures shall include a solid roof or canopy.
- C. Trash enclosures located in obscured areas such as behind buildings or adjacent to loading areas shall also be screened from view, but the design of the enclosure shall consist of solid fencing only—landscape and decorative treatments are not required in these areas. At the discretion of the Community Development Director, screening or gates may not be required for trash areas not visible from public streets or pedestrian areas.
- D. Trash enclosures shall be constructed of substantial building materials used in the design of the building(s). Gates shall be constructed of durable building materials that screen a minimum of 80 percent of the view of the trash enclosure. Wood or chain link gates are not permitted.
- E. Trash enclosures shall include provisions for concrete pads or appropriately designed asphalt sections in front of the enclosure. The area in front of the trash enclosure shall be a minimum of six (6) feet to reduce pavement damage from disposal trucks.
- F. When non-residential buildings are to be constructed adjacent to existing residential uses, loading and delivery shall be planned to occur on the side of the building away from residences when feasible. Loading and delivery areas shall not be located in a required setback area.
- G. Service areas and loading docks shall be designed so that they are not directly visible from a public street or shall be appropriately screened. Screening shall match the design of the building and the overall landscape design theme of the development.
- H. Truck maneuvering/circulation areas adjacent to residential properties shall be designated to prohibit trucks from parking and idling in these locations, except in approved loading spaces or docks.

6.9 Public Art

Public art is an instrumental feature that can be used to create a connection between the public and any particular project or space. Public art makes spaces more interesting, helps to distinguish one place from another by creating landmarks that are easily recognizable, and creates a unique shopping, working or living environment. Art also revitalizes public spaces and makes them more welcoming. By enhancing the overall quality of a project and giving it a unique character, public art increases a project's value. Unless otherwise provided by Development Agreement or ordinance approved by the City for any Planning Area or portion thereof, or satisfied by provision of other unique project features, as determined by the Community Development Director, the following public art requirements and guidelines shall apply to all construction within the Project Site, as further described below:

6.9.1 Public Art Requirements

- A. Public art within the Specific Plan area shall be provided for the following:
 - 1. New residential or commercial development having total project costs of \$300,000 or more, as determined by the City's valuation of building permits issued for the development;
 - 2. Expansion of existing buildings or remodeling of existing buildings when any such work has a building permit valuation of \$300,000 or more.
- B. Public art provided shall have a value equal to one-half of 1 percent (0.50 percent) of the total building costs (as measured by building permit valuations), excluding land, site development, off-site requirements and remediation costs. The value of the public art shall include the art piece itself and the cost of installation.
- C. Public art may be installed concurrently with each building that triggers the public art requirement; or the value of the required public art for each building can be consolidated, or banked, and applied to the provision of larger installations that serve multiple buildings.
- D. The public art requirements shall not apply to reconstruction of structures that have been damaged by fire, flood, wind, earthquake or other calamity.

6.9.2 General Provisions

- A. Artwork siting and its visibility are important design considerations. The artwork shall be easily visible to the general public and be located in an area specifically designated on the approved building plans. Appropriate locations may include entryways, greenbelts, pathways and building exteriors.
- B. Installation of the artwork shall be planned and implemented to enhance the piece and allow for unobstructed public viewing from as many angles as possible.
- C. The artwork shall be constructed of permanent materials with a high level of durability and

weather resistance and requiring a low level of maintenance.

D. The continued maintenance of the artwork in the Specific Plan area shall be the responsibility of the property owner. Stolen or vandalized art must be replaced or repaired as close as possible to its original form.

E. Artwork must be designed by artists with experience and knowledge of monumental-scale public art.

F. All forms of original visual art are encouraged, including, but not limited to:

1. Painting of all media, such as portable and permanently affixed works such as murals;
2. Sculpture, which may be in the round, bas-relief, high relief, mobile, fountain, kinetic, electronic, architectural, etc. in any material or combination of materials; and
3. Other visual media including, but not limited to: prints, drawings, stained glass, artistic lighting, mosaics, photography, clay, wood, metals, paving, plant materials, plastics, or other durable and weather-resistant materials.

G. A wide range of styles, materials and types of artworks is encouraged to assure a balanced and interesting collection.

H. Artwork shall be constructed in a size proportional to the scale of the development.

I. Artwork shall be an integral part of the landscaping and/or architecture of the building.

J. Exterior artwork(s) should be adequately lit to be clearly visible from sidewalks during evening hours. Interior artworks should be adequately lit during all hours of public access.

K. To provide diversity in artwork and opportunity among artists, generally not more than five pieces by the same artist are permitted.

L. All art within the Specific Plan area belongs to the project owner. The artist, project developer and architect should be credited for their roles in the art project with a plaque placed near the art piece.

M. Artworks shall be a permanent part of any development within the Specific Plan area and must remain in place for the life of the development. If any development on the Project Site is rebuilt or remodeled, resulting in the movement or removal of art required by the Specific Plan, the required art shall be re-created according to this Public Art section of the Specific Plan.

When property within the Specific Plan area is transferred to new owners, they shall be informed of their responsibility to maintain the artwork and surrounding landscaping and lighting and of their inability to remove any existing artwork without written City approval.

6.10 Noise

- A. Where residential uses are potentially exposed to interior or exterior noise levels greater than those permitted by Chapter 5 of Article V of the CMC, certification from a licensed acoustical engineer shall be obtained to document attenuation to those maximum levels. The exterior standards shall be measured either at the closer of the property line of the Project Site or the nearest noise sensitive use such as a patio, yard or landscaped open space.
- B. Commercial uses shall be designed and operated, and hours of operation limited, where appropriate, so that neighboring residents are not exposed to offensive noise, especially from traffic, trash collection, routine deliveries or late-night activity. No use shall produce continual loading or unloading of heavy trucks at the Project Site between the hours of 10 p.m. and 7 a.m. within 250 feet of existing residential uses.
- C. Prior to issuance of building permits for residential developments, the applicant shall submit a detailed acoustical study demonstrating that all structures on the Project Site will meet applicable City interior noise levels and exterior living area noise levels, in accordance with applicable noise standards and zoning regulations.
 1. The study shall be prepared by a City-approved acoustical expert, to the satisfaction of the Community Development Director.
 2. The study shall document projected ultimate noise exposure for interior office, retail and residential space and shall demonstrate that design plans have incorporated adequate sound attenuation measures to achieve the applicable noise standards.
- D. Noise mitigation and proper design may include, but shall not be limited to, building orientation, double or extra-strength windows, wall and ceiling insulation, and orientation and insulation of vents. Where it is necessary that windows be closed in order to achieve the required level, means shall be provided for ventilation/cooling to provide a habitable environment.

6.11 Energy Conservation

The California Energy Code, Part 6 of Title 24, has codified many ways to reduce energy usage. It addresses lighting, building construction and heating/cooling systems. Compliance with this Code results in a reduction of energy usage for any given building or complex. Additional steps can be taken to further reduce the energy usage and reduce operating costs of a building or complex. Development within the Project Site will meet or exceed the requirements of Title 24 through measures that may include:

- A. Use of light-colored roofing materials to reflect heat and reduce cooling requirements in residential and retail buildings. Energy Star-labeled roofing materials are encouraged.
- B. Installation of Energy Star-labeled appliances (e.g., water heaters) to the greatest feasible extent. Solar, electric (efficiency rating of at least 0.92) or lower-nitrogen oxides (as defined by the Air Quality Management District) gas-fired water heaters are strongly encouraged.
- C. Participation in programs offered by or sponsored by local utilities such as:
 1. California Energy Star New Homes Program
 2. Residential Property Development Program
 3. California Home Energy Efficiency Rating System (CHEERS) Program
 4. Savings by Design Program
- D. Development of a recycling program for residential and commercial uses to recycle paper, glass, plastic and other by-products of business or residential activities.
- E. Pre-wiring for and inclusion of electric vehicle charging spaces, complete with associated charging equipment. Future load demands shall be taken into account for the prewired spaces.

6.12 Residential Unit Requirements

6.12.1 Private Storage Space

A. Private Storage Space. Units within the Project Site developed at densities of 25 units per acre or less shall have at least two hundred (200) cubic feet of enclosed, weather-proofed and lockable storage space for the sole use of the unit owner. Units within the Project Site developed at densities over 25 units per acre shall have at least one hundred (100) cubic feet of private storage space as described above.

1. Such space may be provided within individual storage lockers, cabinets or closets, and may be split among two (2) locations. Moreover, it is the intention of this standard to require space over and above that normally associated with the day-to-day functioning of the unit, such as guest, linen or clothes closets or food pantries that are customarily within the unit. Thus, while providing such private storage space within the limits of the unit is not precluded, it shall be over and above that which would otherwise be provided within the unit
2. If such space is located within a common area within the development project site, the residential association shall be responsible for the care and maintenance of the exterior surface of the space in order to assure that the surface is maintained in a manner compatible with the architectural treatment of the development project. Regardless of the location, the precise architectural treatment of such space shall be approved by the Planning Division to ensure that such areas are safe, convenient and unobtrusive to the functional and aesthetic qualities of the development project.

7.0 DESIGN STANDARDS & GUIDELINES

This section establishes design standards and guidelines to ensure that The District at South Bay will possess an identifiable look and feel. The standards and guidelines in this Section will shape the development by providing specific design criteria for building orientation, landscaping, walls and fences, and other design elements integral to creating development projects that fit into the theme of the community. Architecture standards and guidelines are also provided to ensure that buildings within The District at South Bay are attractive, relate to one another and create a sense of place.

The pictures and illustrations contained in this section are provided to convey the general design intent of the standards and guidelines and are not intended to require the specific design style depicted. Like development standards, design standards constitute regulations, requirements and by-laws by which development must abide, and are indicated by the use of the word "shall." Design guidelines generally use the word "should" and identify actions or outcomes that are encouraged but not mandatory.

7.1 Site Design & Landscape

7.1.1 At-Grade Commercial¹

A. Building Orientation and Site Planning

1. Building placement and orientation shall be organized to create visual interest along public rights-of-way, particularly oriented at intersection nodes, and project entryways.
2. Buildings shall be oriented so that public access or windows face public spaces.
3. Multiple buildings in a single area should be grouped and organized to demonstrate a positive functional relationship to one another. The grouping of multiple buildings should be clustered to create functional plazas and pedestrian corridors. Where clustering is impractical, a visual link should be established between buildings through the integration of an arcade system, trellis, colonnade or other such open structure. Hotels, entertainment uses, restaurants, and other similar uses that could energize public spaces shall be oriented around a public plaza.
4. Buildings with special architectural elements, such as clock towers, should be positioned on corners of significant intersections or entryways to enhance the sense of arrival and monumentation. This does not preclude landmark structures, public plazas or entry

1. Standards for At-Grade Commercial shall not be applicable to Commercial – Elevated Podium developments.

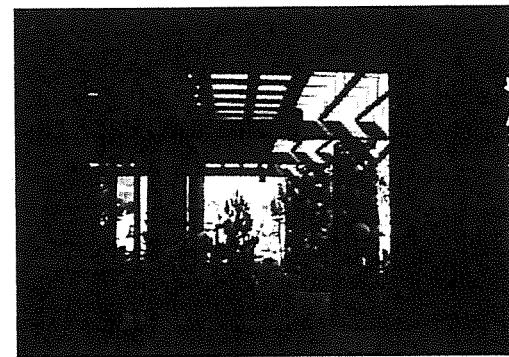
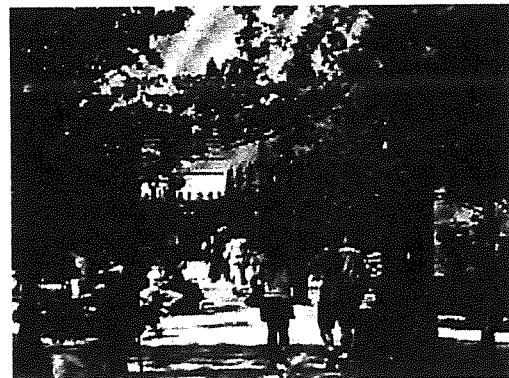
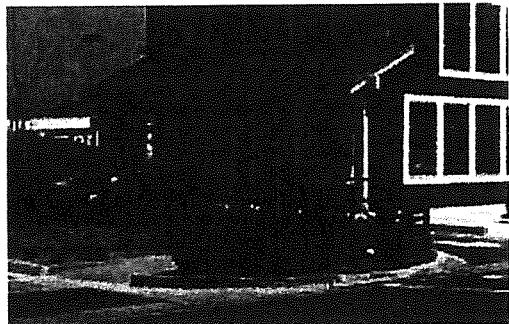


monumentation/signage at these locations.

5. Stacking lanes for drive-through food service windows shall accommodate a stacking for at least eight (8) cars and all other service windows shall accommodate stacking for at least four (4) cars.
6. Drive-through businesses shall be visually screened and shall be situated so as to not block any other drive aisle or parking space.
7. Drive-throughs shall be separated from residential properties by an intervening building or a maximum six (6) foot high wall and a ten (10) foot wide buffering landscape strip.

B. Public Spaces and Pedestrian Circulation

1. In areas other than those spaces occupied by buildings, the first nine feet surrounding all public (non-service) sides of the buildings, parking, service drives or other surface circulation should be used as plaza areas with amenities such as enhanced landscape/hardscape, outdoor seating areas, trellises, ornamental trees, benches, planters, open space, water features, public art, and pedestrian-accessible spaces.
2. Public plazas shall be located near building entrances or areas of high pedestrian traffic to ensure their use and highest functionality. Buildings clustered together should coordinate their public plaza space with one another to provide larger plaza spaces that are centrally located and serve multiple uses.
3. Public plazas shall be oriented to maximize the visual and physical link from public right-of-ways and pedestrian corridors.
4. Public plazas should be either contiguous or connected via landscaped pedestrian walkways.



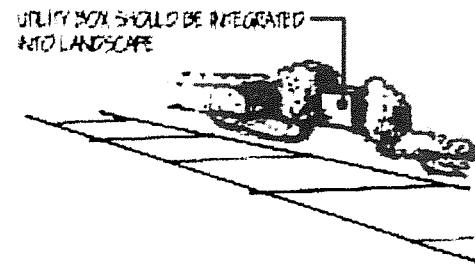
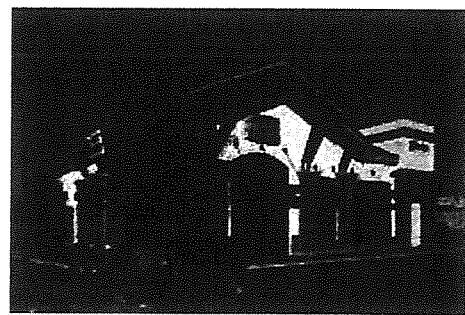
5. Pedestrian circulation shall be located primarily along internal roadways and building frontages to provide safe pedestrian crossing and access through the commercial area. The space between the sides of buildings should incorporate seating areas and enhanced pedestrian connections where appropriate.
6. Pedestrian connections through the parking fields to Street B should provide landscaping and amenities to create visual interest, pedestrian access and rest breaks over longer distances of pavement. A minimum four (4) foot wide sidewalk with four (4) feet of landscaping (either on one side or in total on both sides) should be provided through these pedestrian connections.
7. Pedestrian circulation should be enhanced with landscape/hardscape treatments to provide a pedestrian-friendly shopping environment.
8. Bike racks shall be provided at convenient locations throughout the Project Site.

C. Parking

1. Parking lot entryways and primary intersection nodes should be treated with special landscape elements, such as special paving, graphic signage, specialty lighting, ornamental trees, or flowering plants, that will provide an identity to the project.
2. No more than 10 percent of the required parking should be in the rear service area of a development project, with the exception of the Entertainment Area.
3. Parking structures shall be screened and shall include architectural detailing, façade treatment, artwork, landscaping, or similar visual features to enhance the street façade.

D. Landscape

1. Landscape treatments shall be used to enhance intersection nodes, public rights-of-way, building fronts, pedestrian corridors, and public plazas.
2. All areas not utilized for parking, buildings, plazas or access/circulation should be landscaped to the back of curb.
3. Landscape treatments should be used to screen the visual impacts of parking areas, sides of buildings and service, trash and utility areas.
4. Landscaped areas should be irrigated with permanent automatic irrigation systems.

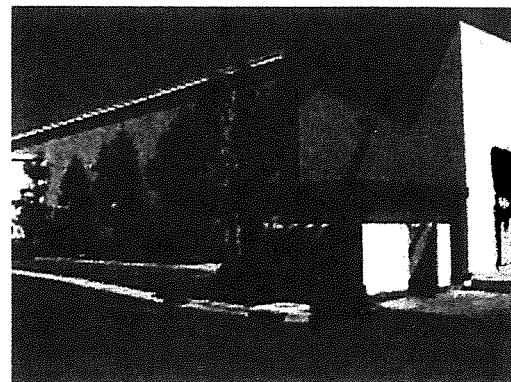


E. Walls and Fences

1. Walls and fences shall be utilized when necessary to minimize the visual impacts of commercial development along the perimeter of the Project Site visible from residential areas or public streets.
2. Solid walls shall be screened with ornamental trees and plant material at a minimum of three (3) feet in height in areas visible from residential areas or public streets.
3. A landscape treatment should be applied to spaces between a wall or fence and the adjacent sidewalk.
4. Design of all walls and fencing shall be consistent in terms of material, color and detail with the architecture of the development project.
5. The application of materials, colors, textures and alignment in the design of walls shall be used to relieve visual monotony. Pilasters should be placed at wall terminus points and as determined to be necessary for improved aesthetics.

F. Service, Trash and Utility Areas

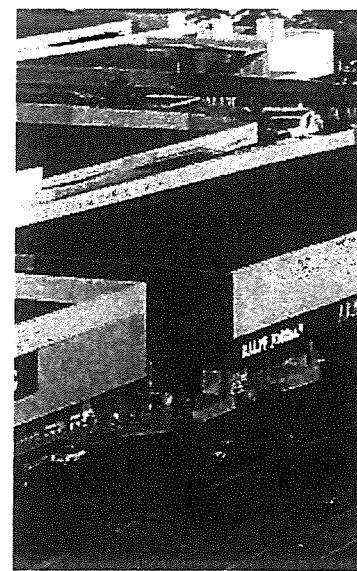
1. All trash enclosures should be screened with landscape treatment if located adjacent to or within a landscaped area. Potted plants may be used in landfill areas.
2. Exterior on-site utilities, including sewer, gas, water, electric, telephone, and communications equipment should be installed underground, where feasible. Transformers and other utility equipment that must be above ground should be screened and incorporated into the landscape wherever possible.
3. Trash enclosures shall be located on a four-inch concrete pad screened by a six-foot-high decorative concrete block wall that is compatible with the architectural design of the main building. Enclosures shall incorporate an opaque decorative gate, a screened pedestrian access door, and exterior enclosures should have a solid roof or canopy to provide visual screening. Trash enclosure design is to be approved by the Community Development Director prior to issuance of any building permit(s).



7.1.2 Commercial – Elevated Podium

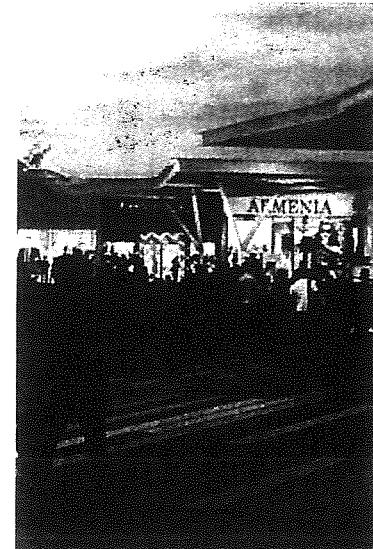
A. Building Orientation and Site Planning

1. Building placement and orientation shall be organized to create visual interest along the 405 Freeway frontage and Street A.
2. Buildings may be oriented inward (i.e., away from the freeway).
3. Single or multiple buildings on an elevated podium should be organized to demonstrate a relationship to one another, joined by wide (30'-40') open concourses, plaza/event area(s) and open “Canyons”.
4. Buildings should be positioned such that building site entryways enhance the sense of arrival and project monumentation.
5. The ground level of buildings shall provide visual and functional interest for the pedestrian vertical circulation from covered parking areas and building corner(s) facing the Street A. Parking under the podium should be open garage without mechanical ventilation. Views from Street A to head in parking stalls under the podium shall be screened by low walls, low screens, plant materials, or any combinations thereof. Exit stairs leading from or to the elevated podium level may be open or enclosed.

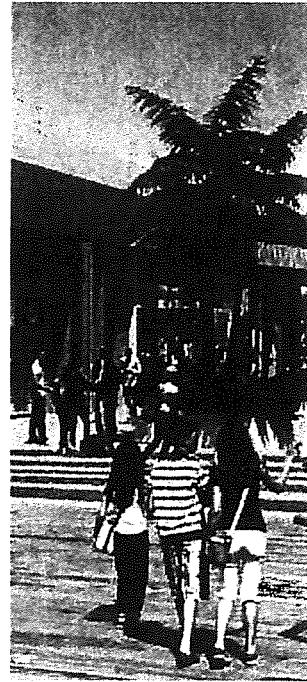


B. Public Spaces and Pedestrian Circulation

1. Primary pedestrian circulation shall be provided along Street A with pedestrian circulation extended, where feasible, to locations of pedestrian vertical circulation up to elevated podium. Locations of pedestrian vertical circulation should be used as small plaza areas with amenities such as enhanced landscape/hardscape, outdoor seating areas, benches, planters, and open space.
2. Main public plaza(s) shall be located on elevated podium to ensure their use, ensure their highest functionality and to ensure multiple uses can be served.
3. Main public plaza(s) should be connected via enhanced open mall pedestrian concourse(s) that provide a pedestrian-friendly shopping experience.
4. Pedestrian connections from the parking below the elevated podium to be provided



by circulation down drive aisles between parking stalls with signage and way finding graphics provided. Drive aisles lead pedestrians to "Canyons" that are open to elevated podium above with landscape plazas and amenities to create visual interest at the Canyons that provide a pedestrian-friendly shopping experience.



5. Pedestrian circulation on the elevated podium should be located along internal, open, wide (30'-40') concourses to provide safe pedestrian access.
6. Bike racks should be provided at convenient location(s) on ground level. No bike racks on elevated podium level.

C. Parking Lots and Parking Below Elevated Podium

1. Parking lot entryways should be treated with special landscape elements, graphic signage, and specialty lighting, that will provide an identity to the project.
2. Parking area below elevated podium should be 50% open to satisfy open parking code requirement with head-in facing parking stalls that face Street A to be screened with landscape material and/or site walls (up to 50% open) to a height of 3' to screen vehicle lights.

D. Landscape

1. Landscape treatments shall be used to enhance locations of pedestrian vertical circulation up to elevated podium.
2. All areas not utilized for parking, building, plazas or access/ circulation should be landscaped to the back of curb.
3. Landscape treatments should be used to screen the visual impacts of parking areas, and service, trash and utility areas.
4. Landscape areas should be irrigated with permanent automatic irrigation systems to current drought tolerant codes and regulations.



E. Walls and Fences

1. A View Fence or Landscape Barrier along the 405 freeway frontage should be utilized where necessary to minimize the visual impacts of service areas below the elevated podium visible from the 405 freeway.

2. Design of all walls, fencing, and landscape shall be consistent in terms of material, color and detail with the architecture of the development project.

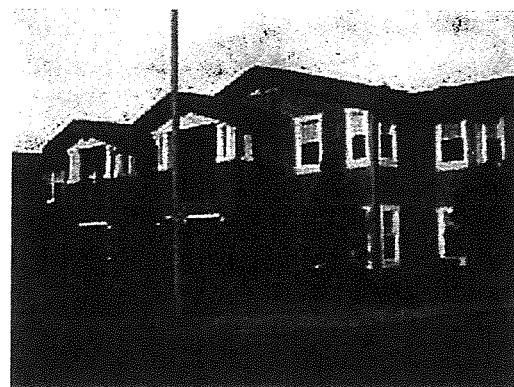
F. Service, Trash, and Utility Areas

1. All trash compactors and service bay truck loading docks fronting on public streets should be screened. Service bay maneuvering areas may remain unscreened.
2. Exterior on-site utilities, including sewer, gas, water, electric, telephone, and communications equipment should be installed underground, where feasible. Transformers and other utility equipment that must be above ground should be screened and incorporated into the landscape wherever possible.
3. Trash enclosure and service yard design is to be approved by the Community Development Director prior to issuance of any building permit(s).

7.1.3 Residential

A. Building Orientation and Site Planning

1. Residential buildings shall emphasize pedestrian access and connections to public sidewalks, paths, recreational facilities and enhanced edges.
2. Structures should be configured and oriented to afford a sense of individuality and privacy and to create small-scale public spaces.
3. Where possible, the housing should be oriented to streets and pedestrian walkways.
4. Windows of interior living spaces should overlook streets and public spaces.
5. Front doors and entrances to buildings shall be clearly defined and articulated and shall be easily recognizable from pedestrian and vehicular vantage points.
6. Residential units shall be designed to ensure the security of residents through the provision of secure entrances and exits that are separate from non-residential uses and are directly accessible to parking areas. Non-residential and residential uses shall not have common entrance hallways or common balconies. These separations shall be shown on the development plan and shall be permanently maintained.



B. Public Spaces and Pedestrian Circulation

1. Recreational facilities shall be conveniently and centrally located for the majority of units.

2. Entrances and exits (both auto and pedestrian) for residential projects should be integrated with the entries of adjacent commercial sites so that internal access opportunities between uses are maximized.
3. Residential uses shall have one off-street loading space or moving plaza for every 150 units.
4. Loading spaces or moving plazas shall be located near the entries and/or elevators.
5. Loading spaces or moving plazas shall be incorporated into the design of vehicular access areas.
6. Decorative paving, removable bollards and potted plants are permitted and encouraged to enhance loading spaces and moving plazas.
7. Loading spaces and moving plazas may be located on a local or connector street with the approval of the Traffic Engineer. The adjacent parkway and setback landscape treatment shall be designed to allow for loading and unloading.

C. Parking

1. The size and placement of garages should be varied, although garage “rows” in service areas hidden from view are acceptable. Garages shall not dominate the street scene.
2. Parking structures shall be screened and shall include architectural detailing, façade treatment, artwork, landscaping, or similar visual features to enhance the street façade.

D. Landscaping

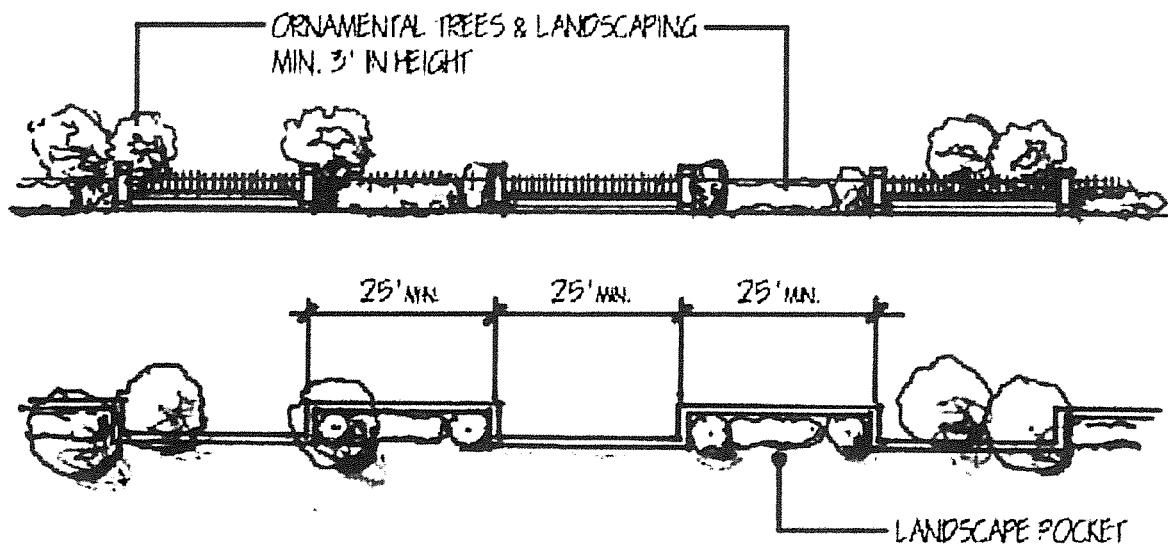
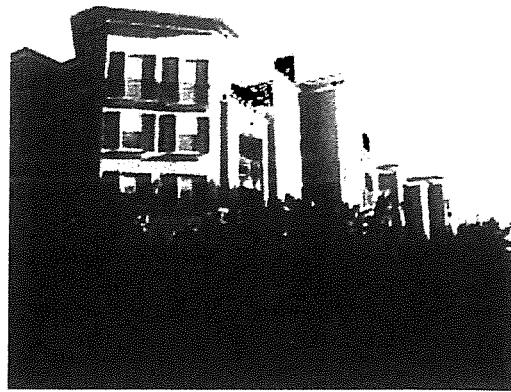
1. Landscape treatments shall be used to enhance intersection nodes, public right-of-ways, building fronts and pedestrian corridors.
2. Landscaping around the entire foundation base of buildings should be provided to enhance the area between the parking areas, walkways and the structures.



E. Walls and Fences

1. A combination of solid and transparent barriers should be used to separate the residential component of The District at South Bay from Del Amo Boulevard and Main Street. Fencing should vary in setback, providing landscape recesses and flat expanses of wall no longer than 25 feet in length.
2. View fences shall include landscape sufficient to screen views of private yards from adjacent properties and public rights-of-way

3. A maximum six-foot wall or fence may be incorporated for ground-floor screening of private outdoor space of residences. Other barrier alternatives such as a landscape screen may be used if noise is not a major consideration.
4. A landscape treatment shall be applied to spaces between a wall or fence and the adjacent sidewalk.
5. Design of all walls and fencing shall be consistent in terms of material, color and detail with the architecture of the project.



F. Service Areas and Trash Enclosures

1. Service, maintenance, storage, and trash areas shall be located in discreet places to the extent feasible while still allowing convenient access for each tenant, and screened with landscaping from adjacent public right-of-ways, public plazas, pedestrian corridors and building fronts.
2. Exterior on-site utilities, including sewer, gas, water, electric, telephone and communications equipment should be installed underground, where feasible. Transformers and other utility equipment that must be above ground should be screened and incorporated into the landscape wherever possible.
3. Trash enclosures shall be located on a four-inch concrete pad screened by a six-foot-high decorative concrete block wall that is compatible with the architectural design of the main building. Enclosures shall incorporate an opaque decorative gate, a screened pedestrian access door, and exterior enclosures should have a solid roof or canopy to provide visual

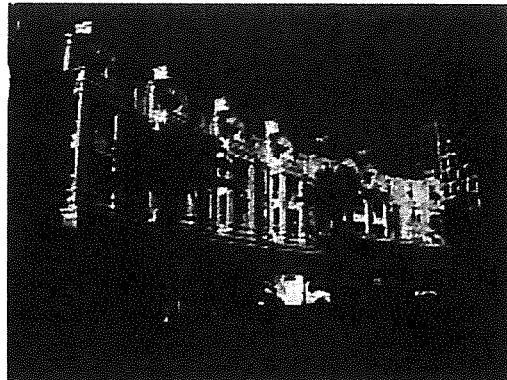
screening. Trash enclosure design is to be approved by the Community Development Director prior to issuance of any building permit(s).

7.1.4 Mixed-Use

The design standards and guidelines described above for individual commercial and residential uses shall also apply to horizontally and vertically mixed-uses. Additional standards and guidelines for mixed-uses are provided below.

A. Building Orientation and Site Planning

1. The ground level of buildings shall provide visual and functional interest for the pedestrian and motorist through extensive window space, pedestrian-scale signs, sitting areas, varied entrances and architectural detailing.
2. The residential units shall be designed to ensure the security of residents through the provision of secured entrances and exits that are separate from the non-residential uses and are directly accessible to parking areas. Non-residential and residential uses shall not have common entrance hallways or common balconies. These separations shall be shown on the development plan and the separations shall be permanently maintained.



B. Public Plazas and Pedestrian Circulation

1. Pedestrian access from residential parking areas to commercial areas is encouraged through the use of restricted access pedestrian gates to facilitate access for residents to adjacent commercial services.

C. Parking

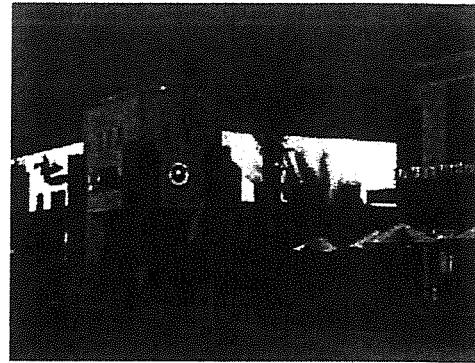
1. In vertically mixed uses, parking spaces designated for non-residential and residential uses shall be marked by the use of posting, pavement markings or physical separation.

7.2 Architecture

7.2.1 At-Grade Commercial¹

A. Building Massing, Scale and Form

- Buildings and structures shall be designed at a human scale that is inviting and attractive. The scale of buildings shall relate to adjacent public plazas, pedestrian corridors and other surrounding buildings and shall comply with the heights specified in Table 6.2-2. As noted in Table 6.2-2, heights for secondary and major features may be increased per the Table where it can be demonstrated that such deviation enhances the visual attractiveness of the immediate public space, and is appropriate in scale to the surrounding buildings and outdoor pedestrian space
- Building facades and footprints shall be articulated to reduce the large scale and often uniform, impersonal appearance of many large retail buildings and to provide visual interest. Building facades shall vary in height or vary the planes of exterior walls in depth and direction. There shall be no long flat expanses of walls that exceed 50 feet (150 feet for buildings larger than 50,000 square feet) without incorporating at least two of the following: color change, material change, texture change, a minimum of 10% of plane surface projections of recesses, trellises, balconies or windows.
- Articulated facades should be integrated on all sides of the building visible to the interior of the site or to uses or roadways off-site. The intent is to continue attractive surface detailing which strengthens community design themes and the character and quality of the development.
- Ground floor facades that face public right-of-ways should integrate arcades, display windows, entry areas, awnings, or other pedestrian-friendly design elements.
- Building heights shall relate to the adjacent non-building area to address sunlight penetration, ventilation, protection from prevailing winds, public view enhancement, and view preservation.
- The presence of smaller retail stores gives a commercial center a “friendlier” appearance by creating variety, breaking up large expanses and expanding the range of activities. Windows and window displays of such stores should be used to contribute visual interest of exterior facades.

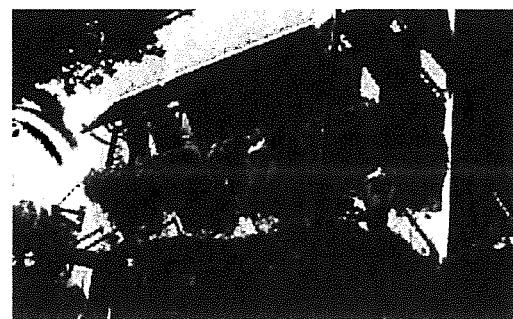


¹ Standards for At-Grade Commercial shall not be applicable to Commercial – Elevated Podium developments.

7. Larger buildings may employ a multiple-unit facade to give the appearance of many smaller stores, similar to that of a downtown.

B. Style and Design Details

1. Wall treatments shall contain panelized accents in replace of faux windows.
2. Both regular and irregular fenestration should be used to add visual interest.
3. Attention to detail and design shall be placed on the Entertainment Area more than any other commercial type use. Dynamic, playful storefronts with extensive use of planter walls and seating, enhanced trellises with flowering vines, accent or festive lighting, integration of focal objects such as water, murals, sculpture, or topiary, should be used to enhance the quality of this environment.
4. Storefronts shall integrate awnings, bays, openings and entryways to express individuality.



C. Material and Color

1. Buildings and structures within the development shall be aesthetically pleasing and compatible with materials and colors used in adjoining buildings to enhance the overall theme and identity.
2. Facades shall utilize low reflecting, subtle, neutral or earth tone colors, with the exception of the Entertainment Area where a more vibrant use of color is encouraged in combination with the earth tones. The use of high-intensity colors, metallic colors, black or fluorescent colors is prohibited.

7.2.2 Commercial - Elevated Podium

A. Building Massing, Scale, and Form

1. The scale of Elevated Podium Building(s) shall relate to the adjacent 405 freeway. This opportunity shall be maximized by creating a freeway exposure with an iconic presence to be experienced while passing at interstate speeds. Raised podium buildings shall comply with the height limitations specified in Table 6.2-2.
2. Outward facing building facades shall be contemporary in massing, style and materials, and shall be articulated to provide visual interest. Building facades should vary in height

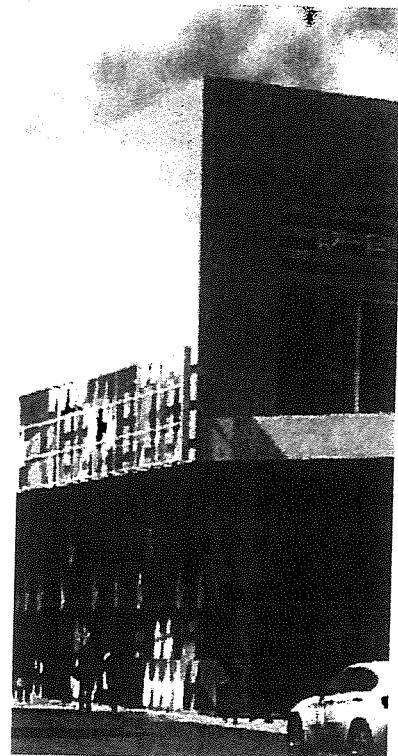
as the development site slopes. It is anticipated that the height of the elevated podium slab will be approximately 13 feet to 20 feet above sloped finish grade. Building heights are anticipated to be 24 feet to 30 feet above the height of the podium (above the on-grade parking) and total building height is anticipated to be 50 feet above grade; however, architectural features and/or signage may extend above the height of building walls. Heights of 85 feet are allowed for construction of a second level above the podium.



3. The building mass should be broken up into large blocks with the use of slices, or "Canyons", between large blocks. The podium slab shall be "sliced" to create Canyons connecting arrivals and parking with the prime shopping experience. The at-grade Canyons should reduce the scale of the parking fields by dividing the parking into areas with short walking distances to vertical transportation up to the elevated podium. Each of the Canyons should be landscaped in a manner that orients the customer upon arrival and draws the customer towards the vertical circulation serving the elevated podium level. Above the podium, the Canyons are anticipated to "slice" through the retail blocks to create multiple corner tenant spaces, break up the long elevation, and offer views into the interior.
4. Tenant signage and the large format project signs are to be integrated into the layered building façade to provide scale, texture, sculptural relief and illumination and to ornament the buildings.
5. Building design shall relate to and address sunlight penetration, ventilation, protection from prevailing winds, public view enhancement of the elevated podium level and parking areas under the podium.
6. There shall be an appropriately scaled plaza space on the elevated podium that allows for a variety of programmed events as well as informal gatherings.

B. Style and Design Details

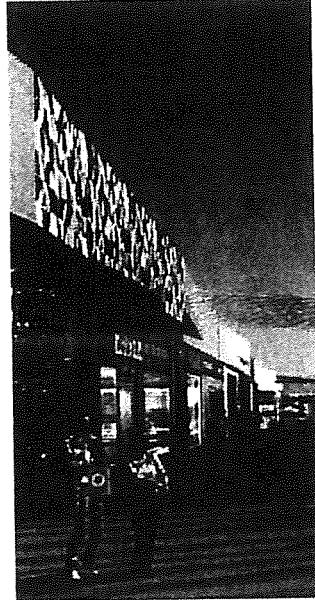
1. Outward facing wall treatments may contain EIFS systems or equivalent materials. Inward facing wall treatments may contain plaster and EIFS systems augmented by tenant storefront materials and branding.



2. Attention to detail and design shall be placed on the open-air pedestrian spaces at the retail level with a rich variety of tenant expression. The width of the pedestrian walkways should vary along the route with subtle shifts in plan to create a dynamic spatial experience. Shaded amenities such as seating and landscaping, and packaging stations should be used throughout the retail level. An integrally colored concrete paving pattern with a variety of colors and finishes to provide a pedestrian scale should be used at the retail concourse walkway.
3. Tenant storefronts shall be allowed to express individuality and to be designed to individual tenant criteria established by the developer.
4. Large wall graphic and wall mural expressions may be used to complement the design. If used, they would be considered an integrated identity graphic or architectural feature, and would not be considered as signage.

C. Material and Color

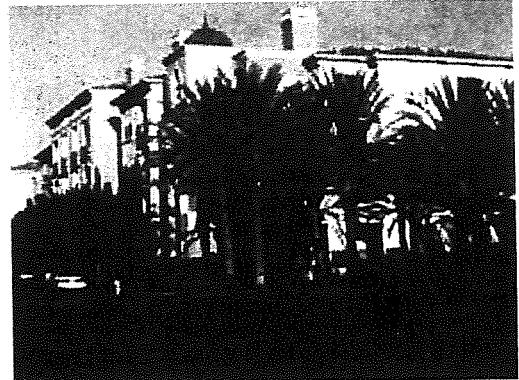
1. Buildings and structures shall be aesthetically pleasing.



7.2.3 Residential

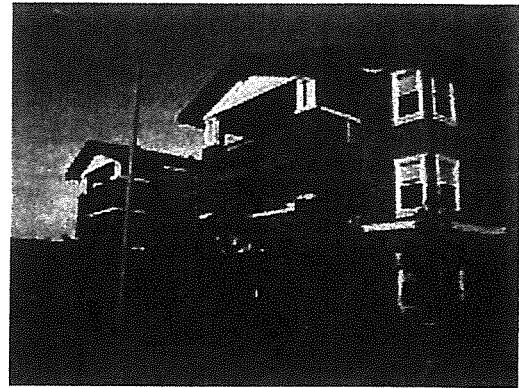
A. Massing, Scale and Form

1. Building facades and footprints shall be articulated to vary the streetscape and provide visual interest. Building facades shall vary in height or vary the planes of exterior walls in depth and direction to break up the box-like mass and scale of buildings.
2. Rooflines shall employ varied articulation on vertical and horizontal planes for visual relief to the tops of buildings. Other elements such as towers and piers may also be used to break up the horizontal massing.
3. There shall be no long flat expanses of walls that exceed 75 feet without incorporating at least two of the following: color change, material change, texture change, plane projections of recesses, trellises, balconies or windows.
4. The architecture facing a pedestrian area shall exhibit a human scale of detail, such as awnings, moldings, pilasters and other architectural details.



5. Stairs, balconies, porches and patios shall be integrated into the overall building design.
6. Upper stories should be set back to diminish building mass consistent with the specific architectural style.

B. Style and Design Details



1. Building architecture shall vary and yet be of a consistent design theme. Avoid diverse elements of different styles.
2. Carports and garages shall be designed as an integral part of the architecture of the development. They shall be the same in materials, color and detail to the principal buildings of the development.
3. Exterior elevations shall receive architectural treatments, with an emphasis on the front facades.
4. Each unit should be designed to be individually recognizable through the use of balconies, setbacks, projections and patterns of windows and doors.
5. Architectural elements and accessories shall be provided on the building mass, which may include arcades, balconies, towers and decorative lighting. Details such as lower wainscoting or built-up/recessed features can add interest to the building elevations.
6. Individual television and radio antennae shall be prohibited outside any unit. The applicant shall provide either central antennae with connections to each unit via underground or internal wall wiring, or each unit shall be served by a cable antenna service provided by a company licensed to provide such service within the City. Any satellite dishes shall be screened from public view.

C. Materials and Color

1. Buildings and structures within the development shall be aesthetically pleasing and compatible with materials and colors used in adjoining buildings to enhance the overall theme and identity. A variation in colors, materials and textures is encouraged however, unusual colors and patterns should be avoided.
2. Coordinate color and finishes on building exteriors of all elevations of a building to provide continuity of design.
3. Compatible colors should be blended in a single façade or composition to add character and variety.
4. Building façades shall be constructed of durable, high-quality building materials exhibiting

rich texture and conveying a sense of permanence. Materials may include manufactured or natural brick, stone, precast concrete decorative block and stucco.

5. Exterior materials of metals or unfinished concrete block shall not be permitted.

7.2.4 Mixed-Use

The design standards and guidelines described above for individual commercial and residential uses shall also apply to horizontally and vertically mixed-uses.

Approvals within The District at South Bay Specific Plan Project Site shall be subject to the review authority and review processes set forth in this Section. Unless subject to Site Plan and Design Review as indicated in Section 8.1.6, uses that are "automatically permitted uses" or marked as "P" in Table 6.1 shall not require any discretionary approval under this Specific Plan. Chapter 1 of Article IX of the CMC shall apply to matters not covered in this Specific Plan. If there is any conflict between the provisions of this Specific Plan and Chapter 1 of Article IX of the CMC, the provisions of this Specific Plan shall control. Unless otherwise set forth below, to be valid any appeal must be filed with the City Clerk in accordance with the provisions of CMC Section 9173.4, attached as Appendix G, within fifteen (15) days of the decision upon which the appeal is made, and failure to timely file an appeal is a failure to exhaust administrative remedies. Except as set forth in this Section 8, all appeals shall be governed by the provisions of CMC Section 9173.4, attached as Appendix G. All decisions shall automatically become final unless a valid appeal is timely received. Notice of public hearings shall be provided and hearings held in accordance with the provisions of the CMC. All items appealed shall be heard at the next available Planning Commission meeting or City Council meeting, as applicable.

8.1.1 Subdivisions

Unless specifically provided for in The District at South Bay Specific Plan, the regulations set forth in Chapter 2 of Article IX of the CMC, entitled "Subdivision Regulations," shall apply to all Divisions of Land hereafter made of property within the Project Site. Any (a) lot merger or (b) lot line adjustment between two or more existing adjacent parcels, where the land taken from one parcel is added to an adjacent parcel, and where a greater number of parcels than originally existed is not thereby created, shall not be deemed to be a Division of Land pursuant to the Subdivision Regulations and shall instead, consistent with the California Subdivision Map Act, Government Code Section 66400 et. seq. ("Subdivision Map Act"), be approved and a certificate of compliance may be issued upon the approval of such lot merger or lot line adjustment by the Community Development Director.

8.1.2 Residential Condominiums

The regulations set forth in Chapter 3 of Article IX of the CMC, entitled "Standards and Criteria for Residential Condominiums," shall not apply to residential condominiums within The District at South Bay Specific Plan.

8.1.3 Review Authority

This Specific Plan shall be administered by the City Council, the Planning Commission, and the Community Development Director (each a "Review Authority"). The authority of each Review Authority with respect to each discretionary action described in this Section 8.1 shall be as set forth in Table 8.1, below.

8.1.4 Specific Plan Amendments

Amendments to the Specific Plan shall be processed in accordance with the applicable provisions of State law provided in California Government Code sections 65450 et seq. The procedure in Section 9172.11 of the CMC shall be followed for hearing, notice and decision of a Specific Plan Amendment by the Planning Commission

and City Council. Each request for amendment shall specify the sections or portions of the Specific Plan that are affected by the amendment. Consideration of a Specific Plan Amendment may be initiated by the Community Development Director, the Planning Commission or the City Council or upon the written request of any person, consistent with CMC Section 9172.11.

Table 8.1
Decision and Appeal Authority of Each Review Authority

Type of Permit ¹	Decision and Appeal Authority		
	Community Development Director	Planning Commission	City Council
Specific Plan Amendment	Recommend	Recommend	Decision
Administrative Permit	Decision or Referral to Planning Commission	Appeal on Decision or Decision (if referred)	Appeal
Site Plan and Design Review ²	Recommend	Decision	Appeal
Conditional Use Permit	Recommend	Decision	Appeal

1. When a Site Plan and Design Review, Conditional Use Permit, or Administrative Permit application is processed in conjunction with a Specific Plan Amendment, then notwithstanding this Table 8.1, the determination of the Review Authority and the process for consideration and approval may, at the discretion of the Community Development Director, be determined pursuant to Section 8.1.9.

2. If the proposed new construction or modification has an estimated valuation of \$250,000 or less, Site Plan and Design Review may be approved administratively (no public hearing), with right of appeal to the Planning Commission and then the City Council.

8.1.5 Administrative Permits

A. Authority

An Administrative Permit is required (i) to approve those uses specifically identified as requiring an Administrative Permit in Table 6.1, or (ii) where a minor change, deviation or modification is requested to the regulations herein. The Community Development Director shall review the application for Administrative Permit with particular attention to the location, design configuration, and operational characteristics of the proposed development and other Specific Plan land uses.

B. Minor Deviations

The Community Development Director is authorized by Administrative Permit to approve a minor change, deviation or modification to the Specific Plan to allow the following:

1. A decrease in setback requirements not exceeding ten percent.
2. Height of walls or fences to be increased by a maximum of one foot.
3. Expansion or reduction of the net acreage covered by a given Planning Area within the Specific Plan by a maximum of 10 percent (and accompanying expansion or reduction of the net acreage covered by a given Land Use Category).

4. A decrease of not more than 10 percent in landscape coverage in parking lot areas.
5. An increase in sign area and/or number of signs of not more than 10 percent and other than pylon signs, a relocation of sign location or an increase in sign height of not more than 10 percent.
6. A decrease in parking requirements of not more than 10 percent, subject to approval by the Community Development Director of a parking demand study.
7. A change in exterior color that is a similar hue to the approved color for the exterior of any improvement.
8. Other minor changes, deviations or modifications of a similar nature to those listed above, which are deemed minor by the Review Authority including (i) minor changes, deviations or modifications to landscape materials, wall materials, wall alignment, entry design and streetscape design, and (ii) minor modifications to the development standards, design standards and guidelines set forth in Sections 6.0 and 7.0 of this Specific Plan provided such changes, deviations or modifications pursuant to either clause (i) and (ii) above do not exceed 10 percent of the applicable standard, and are consistent with the intent of the design guidelines and Specific Plan.

C. Procedure

1. Decisions by Community Development Director on Administrative Permits
Except as set forth in Section 8.1.5.C.2, all Administrative Permit applications shall be decided by the Community Development Director and, notwithstanding any provision of the CMC to the contrary, without a public hearing.
2. Referral to Planning Commission
The Community Development Director may refer any Administrative Permit application for a public hearing before the Planning Commission that the Community Development Director determines to have impacts on surrounding land uses or special neighborhood or community significance.

D. Required Findings

In acting to approve or conditionally approve an application for an Administrative Permit, the Review Authority shall make the following findings:

1. That the proposed use or development, after taking into account the proposed changes, deviations or modifications, if any, will be compatible with the intended character of the area; and
2. That the development is designed and will be conducted in compliance with the land uses and development standards set forth in this Specific Plan and in substantial conformity with the design guidelines or in accordance with an approved Development Plan.

8.1.6 Site Plan and Design Review

A. Applicability

Site Plan and Design Review is required for (i) all projects that are not consistent with a previously approved Development Plan pursuant to prior Site Plan and Design Review and for which a building permit is required that involves new construction, new development, exterior alterations or exterior installations for an existing building; (ii) the erection, replacement, or alteration of signage not in conformance with an approved comprehensive sign program and/or Master Sign Program, and (iii) for landscaping associated with the foregoing construction and alterations.

B. Process

For all matters for which Site Plan and Design Review is required, a Development Plan, as defined in Section 9191.184 of the CMC, shall be submitted to the Planning Division. If Site Plan and Design Review and an Administrative Permit are required for any development or use, the Administrative Permit shall automatically issue without further action of the City upon approval by the City of the Site Plan and Design Review. Notwithstanding the foregoing, it is recognized that the Project Illustrative shown in Figure 4.0a, the internal streetscape and vehicular and non-vehicular circulation concepts (Figures 5.1a through 5.1n), the infrastructure concept plans (Figures 5.3a through 5.3c), the landscape theme areas (Figures 6.4a through 6.4j), conceptual walls and fences diagram (Figure 6.5a), conceptual sign locations (Figures 6.6a and 6.6b) and site lighting (Figures 6.7a through 6.7g) diagrams are conceptual only and other solutions, locations and/or concepts may be proposed and reviewed during the Site Plan and Design Review without requiring a Specific Plan amendment unless wholly inconsistent with the applicable conceptual designs.

C. Authority

The Community Development Director shall review each application for Site Plan and Design Review and make a recommendation to the Planning Commission for action on the Development Plan. If the Development Plan complies with all applicable requirements and standards of this Section and other laws and regulations, and the Review Authority finds that the criteria of Section 8.1.6.D. are adequately met, or can be met if specified conditions are observed, the Development Plan shall be approved, subject to such specified conditions. If the Review Authority finds that the proposal cannot meet and cannot be modified to meet the requirements of this Section and the above criteria, the Development Plan shall be disapproved. In all cases, findings shall be made concerning the grounds for approval or disapproval. Notice of the decision by the Planning Commission shall be given as provided in CMC 9173.32. Any change or modification to or deviation from a Development Plan approved in accordance with the Site Plan and Design Review procedures set forth in this Section 8.1.6 shall be processed pursuant to Administrative Permit application pursuant to Section 8.1.5.

D. Required Findings

In acting to approve or conditionally approve an application for Site Plan and Design Review, the Review Authority shall make the following findings:

1. That the Development Plan is in conformity with the applicable Specific Plan development standards set forth in Tables 6.1 and 6.2-1 of this Specific Plan and is in substantial conformity with the applicable landscape, lighting and signage provisions set forth in Section 6.0 of this Specific Plan;
2. That the Development Plan is in substantial conformity with all applicable Specific Plan design standards and guidelines set forth in Section 7.0 of this Specific Plan and the intent of this Specific Plan;
3. That the Development Plan is compatible with the General Plan and the Specific Plan; and
4. That the proposed use and development will be compatible with the intended character of the area.

8.1.7 Conditional Use Permits

Applications for uses set forth in Table 6.1 of this Specific Plan that require approval of a conditional use permit shall be processed in accordance with the provisions of Section 9172.21 of the CMC, except that, in addition to the findings required under Section 9172.21, the following additional findings shall be made:

- A. That the development is compatible with the General Plan and Specific Plan and substantially complies with the development standards and guidelines set forth under Sections 6.0 and 7.0 of this Specific Plan;
- B. That the site is adequate in size, shape, topography, location, utilities, and other factors to accommodate the proposed use and development;
- C. That the proposed use and development substantially complies with the intent and implements applicable goals and policies of the Specific Plan; and
- D. That the proposed use and development will be compatible with the intended character of the area.

8.1.8 Other Considerations

- A. Prior to the issuance of any building permit, a report on the internal circulation system shall be submitted by the applicant to and approved by the Traffic Engineer as described in Section 5.1.2. The internal roadways, drive aisles, on-site intersection spacing, access openings, sidewalks, pedestrian and bike paths shall be constructed pursuant to the approved report.
- B. A conceptual landscape plan for the streetscape including slopes and entry monimentations shall be prepared by the City to ensure a cohesive development.
- C. Prior to issuance of any grading or building permit, a construction truck traffic routing plan shall be submitted to and approved by the Traffic Engineer. The truck traffic routing plan shall emphasize routes that would avoid residential areas.

- D. The applicant shall submit two sets of landscaping and irrigation plans, drawn, stamped, and signed by a licensed landscape architect. Such plans are to be approved by the Community Development Director prior to the issuance of any building permit. Wall and fence plans must be submitted but need not be prepared by a landscape architect.
- E. The applicant shall submit two sets of lighting plans drawn, stamped, and signed by a licensed lighting consultant. Such plans are to be approved by the Community Development Director prior to the issuance of any building permit.
- F. A Public Safety Plan which addresses on-site security and staffing for the on-site security office will be submitted for approval by the City, with consultation with the Los Angeles County Sheriff's Department prior to the issuance of any building permit for vertical construction.
- G. No residential building permits for Planning Areas 1 or 2 shall be granted until DTSC has issued its consent or non-objection to the development of residential uses in such location based upon the RAP.
- H. Prior to issuance of building permits for residential units, unless determined by the Community Development Director, the applicant shall submit a detailed acoustical study demonstrating that all project structures will meet applicable City interior noise levels and exterior living area noise levels, in accordance with applicable noise standards and zoning regulations.
- I. Variances may be sought for relief from requirements under this Specific Plan and/or the applicable provisions of the CMC in accordance with applicable CMC procedures and requirements for approval by the City of a variance.
- J. Applications for a comprehensive sign program shall comply with the procedures established by Section 6.6.
- K. Notwithstanding the provisions of CMC Section 9173.1, if the City has taken a final action to deny an application, the same application or substantially the same application shall not be submitted within a six month period without the consent of the Community Development Director.

8.1.9 Concurrent Entitlement Consideration with Specific Plan Amendment

Notwithstanding any other provision of Table 8.1, when a Site Plan and Design Review, comprehensive sign program, Conditional Use Permit, or Administrative Permit application is processed in conjunction with any Specific Plan Amendment, then the matter may be considered by the Planning Commission concurrently with consideration of the Specific Plan Amendment. If the City so elects, the Planning Commission shall not be a decision Review Authority but instead shall make a recommendation to the City Council as to all related items concurrently with its recommendation on the Specific Plan Amendment, and the City Council shall be the decision Review Authority.

8.2 Financing

The District at South Bay is comprised of: a remediation and infrastructure project financed through a combination of public and private funds, and a series of private development projects financed by applicants. Public financing mechanisms could include, but are not limited to, community facilities districts, developer-constructed facilities in lieu of fee payment, and state and federal funding that may become available.

8.3 Phasing

Construction in Planning Areas 1, 2 and 3 is anticipated to begin in May of 2018 and be completed by the end of 2023. The District at South Bay will be developed in coordination with implementation of the approved RAP for the landfill site approved by and subject to the oversight of the DTSC. The principal phases of construction include implementation of the RAP, on-site and off-site infrastructure construction and vertical construction. While these construction phases are identified, it is anticipated that there would be some overlapping of activities since the current design is for the piles that support the buildings to be integrated with the Cap. As construction of the building support piles is tied to user demand, this phase of construction could proceed in multiple phases. Consequently, the buildings above the support piles may also be developed and occupied in multiple phases. In addition, construction on DD3, which is not on the landfill site and therefore is not subject to DTSC oversight, is anticipated to begin in 2018.

APPENDICES

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APPENDIX A
PLANT PALETTE

APPENDICES

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Table A-1
Plant Palette

AL	Adapted to region	
L	Low supplemental water needs	
LM	Low to moderate supplemental water needs	
M	Moderate supplemental water needs	
VL	Very Low Water Needs	
H	High Water Needs	
Botanical (Latin) Name	Common Name	Estimated Water Needs in Coastal California
TREES		
<i>Acacia baileyana</i>	Bailey Acacia	AL
<i>Acacia dealbata</i>	Silver Wattle	AL
<i>Acacia decurrens</i>	Green Wattle	AL
<i>Acacia farnesiana</i>	Sweet Acacia	L
<i>Acacia longifolia</i>	Sydney Golden Wattle	AL
<i>Acacia melanoxylon</i>	Blackwood Acacia	AL
<i>Acacia pendula</i>	Weeping Myall	L
<i>Acacia retinodes</i>	Water Wattle	L
<i>Acacia saligna</i>	Willow Acacia	L
<i>Acacia smallii</i>	NCN	L
<i>Aesculus californica</i>	California Buckeye	AL
<i>Agonis flexuosa</i>	Peppermint Tree	M
<i>Albizia julibrissin</i>	Silk Tree	L
<i>Angophora costata</i>	Gum Myrtle	L
<i>Arbutus menziesii</i>	Madrone	L
<i>Arbutus unedo</i>	Strawberry Tree	L
<i>Brachychiton populneus</i>	Kurrajong Bottle Tree	L
<i>Broussonetia papyrifera</i>	Paper Mulberry	L
<i>Callistemon citrinus</i>	Lemon Bottlebrush	L
<i>Callistemon viminalis & cvs</i>	Weeping Bottlebrush	L
<i>Calocedrus decurrens</i>	Incense Cedar	M
<i>Cassia Spectabilis</i>	Crown of Gold Tree	M
<i>Casuarina cunninghamiana</i>	River She-oak	L
<i>Casuarina equisetifolia</i>	Horsetail Tree	AL
<i>Casuarina stricta</i>	Drooping She-oak	AL
<i>Ceanothus arboreus</i>	Feltleaf Ceanothus	L
<i>Ceanothus 'Ray Hartman'</i>	NCN	AL
<i>Ceanothus thyrsiflorus</i>	Blue Blossom	AL
<i>Cedrus atlantica & cvs</i>	Atlas Cedar	M
<i>Cedrus deodara & cvs</i>	Deodar Cedar	M
<i>Ceratonia siliqua</i>	Carob Tree	AL
<i>Cercidium spp & cvs</i>	Palo Verde	L
<i>Cercis canadensis & cvs</i>	Eastern Redbud	M
<i>Cercis occidentalis</i>	Western Redbud	L

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Plant Palette

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Botanical (Latin) Name	Common Name	Estimated Water Needs in Coastal California
<i>Chilopsis linearis</i>	Desert Willow	L
<i>Chitalpa tashkentensis</i>	Chitalpa	L
<i>Cordyline australis</i>	Giant Dracaena	L
<i>Cupressus arizonica</i>	Arizona Cypress	L
<i>Cupressus forbesii</i>	Tecate Cypress	L
<i>Cupressus glabra</i>	Smooth Arizona Cypress	L
<i>Cupressus macrocarpa</i>	Monterey Cypress	L
<i>Cupressus sempervirens</i>	Italian Cypress	L
<i>Dodonaea viscosa</i>	Hopseed Bush	LM
<i>Dracaena draco</i>	Dragon Tree	L
<i>Erythrina caffra</i>	Kaffirboom Coral Tree	M
<i>Feijoa sellowiana</i>	Pineapple Guava	L
<i>Ficus carica</i> & cvs	Common Fig	LM
<i>Geijera parviflora</i>	Australian Willow	L
<i>Grevillea robusta</i>	Silky Oak	L
<i>Jacaranda mimosifolia</i>	Jacaranda	M
<i>Juglans californica</i>	S. Calif. Black Walnut	AL
<i>Juniperus chinensis</i> 'Torulosa'	Hollywood Juniper	L
<i>Juniperus virginiana</i>	Eastern Redcedar	LM
<i>Lagerstroemia indica</i> & cvs	Crape Myrtle	L
<i>Laurus nobilis</i>	Sweet Bay	L
<i>Leptospermum laevigatum</i>	Australian Tea Tree	AL
<i>Leptospermum scoparium</i>	New Zealand Tea Tree	LM
<i>Lyonothamnus floribundus</i> & var.	Catalina Ironwood	AL
<i>Melaleuca armillaris</i>	Drooping Melaleuca	L
<i>Melaleuca linariifolia</i>	Flaxleaf Paperbark	L
<i>Melaleuca quinquenervia</i>	Cajeput Tree	L
<i>Melia azedarach</i> & cv	Chinaberry	AL
<i>Metrosideros excelsus</i>	New Zealand Christmas Tree	LM
<i>Olea europaea</i> "Fruitless" cvs"	Fruitless Olive	L
<i>Pinus canariensis</i>	Canary Island Pine	L
<i>Pinus coulteri</i>	Coulter Pine	L
<i>Pinus eldarica</i>	Afghan Pine	L
<i>Pinus halepensis</i>	Aleppo Pine	AL
<i>Pinus pinea</i>	Italian Stone Pine	L

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<i>Pinus radiata</i>	Monterey Pine	AL
<i>Pinus sabiniana</i>	Digger Pine	L
<i>Pinus torreyana</i>	Torrey Pine	AL
<i>Pittosporum phillyraeoides</i>	Willow Pittosporum	L
<i>Platanus racemosa</i>	Western Sycamore	M
<i>Prunus caroliniana</i>	Carolina Laurel Cherry	L
<i>Prunus lyonii</i>	Catalina Cherry	AL
<i>Punica granatum</i> & cvs	Pomegranate	L
<i>Quercus douglasii</i>	Blue Oak	AL
<i>Quercus engelmannii</i>	Mesa Oak	AL
<i>Quercus ilex</i>	Holly Oak	L
<i>Quercus lobata</i>	Valley Oak	L
<i>Quercus suber</i>	Cork Oak	L
<i>Rhus lancea</i>	African Sumac	L
<i>Robinia ambigua</i> & cvs	Locust	L
<i>Robinia pseudoacacia</i>	Black Locust	L
<i>Sambucus caerulea</i>	Blue Elderberry	AL
<i>Schinus molle</i>	Pepper Tree	AL
<i>Schinus polygamus</i>	Peruvian Pepper	L
<i>Tamarix aphylla</i>	Athel Tree	AL
<i>Tipuana tipu</i>	Tipu Tree	M
<i>Tristania conferta</i> & cv	Brisbane Box	M
<i>Vitex angus-castus</i>	Chaste Tree	L
<i>Xylosma congestum</i>	Shiny Xylosma	LM
<i>Yucca gloriosa</i>	Spanish Dagger	L
PALMS		
<i>Archontophoenix cunninghamiana</i>	King Palm	M
<i>Brahea armata</i>	Blue Hesper Palm	L
<i>Brahea edulis</i>	Guadalupe Palm	L
<i>Butia capitata</i>	Pindo Palm	L
<i>Caryota mitis</i>	Fishtail Palm	H
<i>Chamaerops humilis</i>	Mediterranean Fan Palm	L
<i>Howea forsteriana</i>	Kentia Palm	M
<i>Phoenix canariensis</i>	Canary Island Date Palm	L
<i>Phoenix dactylifera</i>	Date Palm	L

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<i>Rhapis excelsa</i>	Lady Palm	M
<i>Strelitzia nicolai</i>	Giant Bird of Paradise	M
<i>Trachycarpus fortunei</i>	Windmill Palm	L
<i>Washingtonia filifera</i>	California Fan Palm	L
<i>Washingtonia robusta</i>	Mexican Fan Palm	L
SHRUBS AND VINES		
<i>Acacia cultriformis</i>	Knife Acacia	AL
<i>Acacia cognata 'Cousin Itt'</i>	River Wattle	M
<i>Acacia cyclops</i>	Western Coastal Wattle	AL
<i>Acacia farnesiana</i>	Sweet Acacia	L
<i>Acacia longifolia</i>	Sydney Golden Wattle	AL
<i>Acacia retinodes</i>	Water Wattle	L
<i>Aesculus californica</i>	California Buckeye	AL
<i>Alyogyne huegelii</i>	Blue Hibiscus	L
<i>Anisodontea hypomandarum</i>	Dwarf Pink Hibiscus	LM
<i>Arbutus unedo 'Compacta'</i>	Dwarf Strawberry Tree	L
<i>Arctostaphylos densiflora & cvs</i>	Sonoma Manzanita	L
<i>Arctostaphylos edmundsii</i>	Little Sur Manzanita	L
<i>Arctostaphylos hookeri</i>	Monterey Manzanita	L
<i>Artemesia arborescens</i>	Shrubby Wormwood	AL
<i>Artemesia californica & cvs</i>	California Sagebrush	AL
<i>Artemesia 'Powis Castle'</i>	NCN	AL
<i>Atriplex l. var. breweri</i>	Brewer Saltbush	L
<i>Baccharis p. consanguinea</i>	Chaparral Broom	AL
<i>Baccharis sarothroides</i>	Desert Broom	L
<i>Bougainvillea species & cvs</i>	Bougainvillea	LM
<i>Bougainvillea x 'Oo-La-La' TM</i>	Oo-la-la Bougainvillea	M
<i>Caesalpinia species</i>	Bird-of-paradise Bush	L
<i>Callistemon citrinus</i>	Lemon Bottlebrush	L
<i>Callistemon rigidus</i>	Stiff Bottlebrush	L
<i>Calocephalus brownii</i>	Cushion Bush	LM
<i>Carpenteria californica</i>	Bush Anemone	L
<i>Cassia artemisioides</i>	Feathery Cassia	L
<i>Cassia nemophila</i>	Desert Cassia	L
<i>Cassia odorata</i>	Spreading Cassia	L

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<i>Cassia phyllodinea</i>	Silvery Cassia	L
<i>Ceanothus arboreus</i>	Feltleaf Ceanothus	L
<i>Ceanothus 'Concha'</i>	NCN	L
<i>Ceanothus 'Dark Star'</i>	NCN	AL
<i>Ceanothus 'Frosty Blue'</i>	NCN	AL
<i>Ceanothus gloriosus & cvs</i>	Point Reyes Ceanothus	AL
<i>Ceanothus griseus & cvs</i>	Carmel Ceanothus	AL
<i>Ceanothus impressus</i>	Santa Barbara Ceanothus	L
<i>Ceanothus 'Joyce Coulter'</i>	NCN	AL
<i>Ceanothus 'Julia Phelps'</i>	NCN	AL
<i>Ceanothus maritimus & cvs</i>	Maritime Ceanothus	AL
<i>Ceanothus 'Ray Hartman'</i>	NCN	AL
<i>Ceanothus rigidus & cvs</i>	Monterey Ceanothus	AL
<i>Ceanothus thyrsiflorus & cvs</i>	Blue Blossom Ceanothus	AL
<i>Ceanothus 'Wheeler Canyon'</i>	NCN	L
<i>Cercis occidentalis</i>	Western Redbud	L
<i>Chamelaucium uncinatum</i>	Geraldton Wax Flower	L
<i>Chilopogon linearis</i>	Desert Willow	L
<i>Cistus species & cvs</i>	Rockrose	L
<i>Cleome isomeris</i>	Bladderpod	AL
<i>Comarostaphylis diversifolia</i>	Summer Holly	AL
<i>Cordyline banksii</i> Electric Star	Electric Star Grass Tree	M
<i>Correa species & cvs</i>	Correa	L
<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster	LM
<i>Cotoneaster buxifolius</i>	NCN	L
<i>Cotoneaster congestus</i>	NCN	L
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster	L
<i>Cotoneaster lacteus</i>	Red Clusterberry	L
<i>Cotoneaster salicifolius</i>	Willowleaf Cotoneaster	L
<i>Dalea frutescens</i>	Black Dalea	LM
<i>Dalea pulchra</i>	Indigo Bush	LM
<i>Dendromecon species</i>	Bush Poppy	AL
<i>Dodonaea viscosa</i>	Hopseed Bush	LM
<i>Echium fastuosum</i>	Pride of Madeira	L
<i>Elaeagnus pungens</i>	Silverberry	L
<i>Encelia californica</i>	California Encelia	AL

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<i>Eriogonum arborescens</i>	Santa Cruz Island Buckwheat	AL
<i>Eriogonum cinereum</i>	Asyleaf Buckwheat	AL
<i>Eriogonum fasciculatum</i>	Common Buckwheat	AL
<i>Eriogonum giganteum</i>	St. Catherine's Lace	AL
<i>Eriogonum parvifolium</i>	Coastal Buckwheat	AL
<i>Eucalyptus lehmannii</i>	Bushy Yate	AL
<i>Eugenia myrtifolia 'Globulus'</i>	Dwarf Brush Cherry	M
<i>Eugenia myrtifolia 'Monterey Bay'</i>	Monterey Bay Brush Cherry	M
<i>Feijoa sellowiana</i>	Pineapple Guava	L
<i>Fremontodendron</i> species & cvs	California Flannel Bush	AL
<i>Galvezia speciosa</i>	Island Bush-snapdragon	L
<i>Garrya elliptica</i>	Coast Silktassel	AL
<i>Grevillea</i> species & cvs	Grevillea	L
<i>Hakea suaveolens</i>	Sweet-scented Hakea	L
<i>Hardenbergia violacea</i>	False Sarsaparilla	L
<i>Heteromeles arbutifolia</i>	Toyon	AL
<i>Hibiscus syriacus</i>	Rose of Sharon	L
<i>Iva hayesiana</i>	Hayes Iva	AL
<i>Jasminum</i> species	Jasmine	LM
<i>Juniperus chinensis</i> & cvs	NCN	L
<i>Juniperus sabina</i> & cvs	Savin Juniper	L
<i>Juniperus scopulorum</i> & cvs	Rocky Mountain Juniper	L
<i>Justicia californica</i>	Chuparosa	L
<i>Justicia spicigera</i>	Mexican honeysuckle	L
<i>Keckiella</i> species	Native Penstemon	AL
<i>Lagerstroemia indica</i> & cvs	Compact Crape Myrtle	L
<i>Lantana camara</i>	Yellow Sage	LM
<i>Lavandula</i> species & cvs	Lavender	L
<i>Lavatera</i> species	Mallow	AL
<i>Leonotis leonurus</i>	Lion's Tail	L
<i>Leptospermum laevigatum</i>	Australian Tea Tree	AL
<i>Leptospermum scoparium</i>	New Zealand Tea Tree	LM
<i>Leucadendron salignum 'Blush'</i>	Blush Leucadendron	L
<i>Leucophyllum</i> species & cvs	Cenizo	L
<i>Lupinus albifrons</i>	Silver Lupine	L

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<i>Lupinus arboreus</i>	Coastal Bush Lupine	AL
<i>Macfadyena unguis-cati</i>	Cat's Claw	L
<i>Mahonia aquifolium</i>	Oregon Grape	M
<i>Mahonia 'Golden Abundance'</i>	NCN	L
<i>Mahonia nevinii</i>	Nevin Mahonia	L
<i>Mahonia pinnata</i> & cvs	California Grape	L
<i>Malosma laurina</i>	Laurel Sumac	AL
<i>Melaleuca armillaris</i>	Drooping Melaleuca	L
<i>Melaleuca nesophila</i>	Pink Melaleuca	AL
<i>Metrosideros excelsus</i>	New Zealand Christmas Tree	LM
<i>Myoporum laetum</i> & cvs	NCN	L
<i>Myrica californica</i>	Pacific Wax Myrtle	LM
<i>Myrtus communis</i> & cvs	True Myrtle	L
<i>Philodendron xanadu</i>	Philodendron	M
<i>Phormium tenax</i> 'Bronze'	Bronze New Zealand Flax	L
<i>Plecostachys serpyllifolia</i>	NCN	L
<i>Plumbago auriculata</i>	Cape Plumbago	L
<i>Polygonum aubertii</i>	Silver Lace Vine	L
<i>Prunus caroliniana</i> cvs	Carolina Laurel Cherry	L
<i>Prunus ilicifolia</i>	Hollyleaf Cherry	AL
<i>Prunus lyonii</i>	Catalina Cherry	AL
<i>Punica granatum</i> & cvs	Pomegranate	L
<i>Pyracantha species</i> & cvs	Firethorn	L
<i>Rhamnus alaternus</i>	Italian Buckthorn	L
<i>Rhamnus californica</i>	California Coffeeberry	L
<i>Rhamnus crocea</i> & var.	Redberry	AL
<i>Rhaphiolepis indica</i> & cvs	India Hawthorn	L
<i>Rhaphiolepis</i> 'Majestic Beauty'	NCN	L
<i>Rhaphiolepis umbellata</i> & cv	Yedda Hawthorn	L
<i>Rhus integrifolia</i>	Lemonade Berry	AL
<i>Rhus ovata</i>	Sugar Bush	AL
<i>Ribes aureum</i>	Golden Currant	AL
<i>Ribes indecorum</i>	White-flowered Currant	AL
<i>Ribes malvaceum</i>	Chaparral Currant	AL
<i>Ribes speciosum</i>	Fuchsia-flowering Gooseberry	LM

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Rosa banksiae	Lady Banks' Rose	LM
Rosa meidiland series 'Fire'	Fire Meidiland Rose	M
Rosmarinus officinalis & cvs	Rosemary	L
Salvia apiana	White Sage	AL
Salvia chamaedryoides	Blue Sage	L
Salvia clevelandii & cvs	Cleveland Sage	AL
Salvia greggii	Autumn Sage	L
Salvia leucantha	Mexican Bush Sage	L
Salvia leucophylla	Purple Sage	AL
Salvia mellifera & cvs	Black Sage	AL
Sambucus caerulea	Blue Elderberry	AL
Santolina species	Lavender Cotton	L
Schefflera arboricola	Schefflera	M
Schefflera 'Gold Capella'	Gold Capella Schefflera	M
Schinus molle	Pepper Tree	AL
Simmondsia chinensis	Jojoba	L
Sollya heterophylla	Australian Blue-bell Creeper	L
Trachelospermum jasminoides	Star Jasmine	M
Tecomaria capensis	Cape Honeysuckle	LM
Teucrium chamaedrys	NCN	LM
Teucrium fruticans	Bush Germander	L
Trichostema lanatum	Woolly Blue Curls	AL
Vitex agnus-castus	Chaste Tree	L
Westringia species	NCN	L
Xylosma congestum	Shiny Xylosma	LM
GROUND COVERS		
Acacia redolens & cvs	NCN	L
Achillea millefolium	Common Yarrow	L
Acorus gramineus	Sweet Flag	LM
Adenostoma fasciculatum 'Prostrata'	Chamise	L
Agapanthus africanus 'Summer Gold'	Summer Gold Lily of the Nile	L
Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	H
Alocasia Amazonica	African Mask	H
Aptenia 'Red Apple'	NCN	L

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<i>Arctostaphylos edmundsii</i> & cvs	Little Sur Manzanita	L
<i>Arctostaphylos</i> 'Emerald Carpet'	NCN	L
<i>Arctostaphylos hookeri</i> & cvs	Monterey Manzanita	L
<i>Arctostaphylos</i> 'Pacific Mist'	NCN	L
<i>Arctotheca calendula</i>	Cape Weed	LM
<i>Artemisia californica</i> & cvs	Prostrate California Sagebrush	AL
<i>Asparagus densiflorus</i> 'Myersii'	Foxtail Fern	M
<i>Aspidistra elatior</i>	Cast Iron Plant	M
<i>Asplenium</i> hybrid 'Austral Gem'	Austral Gem™ Fern	M
<i>Atriplex glauca</i>	NCN	AL
<i>Atriplex semibaccata</i>	Creeping Saltbush	AL
<i>Baccharis</i> 'Centennial'	NCN	L
<i>Bougainvillea</i> cultivars	Bougainvillea	L
<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	L
<i>Canna indica</i> 'Phasion'	Tropicanna Canna	M
<i>Carex pansa</i>	Dune Sedge	M
<i>Carex testacea</i> 'Prairie Fire'	Prairie Fire New Zealand Sedge	M
<i>Carpobrotus</i> species	Sea Fig	AL
<i>Ceanothus gloriosus</i> & cvs	Point Reyes Ceanothus	L
<i>Ceanothus</i> g. var. <i>horizontalis</i>	Carmel Creeper	L
<i>Ceanothus</i> g. var. h. 'Yankee Point'	NCN	L
<i>Ceanothus</i> 'Joyce Coulter'	NCN	L
<i>Ceanothus maritimus</i> & cvs	Maritime Ceanothus	L
<i>Cephalophyllum</i> 'Red Spike'	Red Spike Ice Plant	L
<i>Cistus salviifolius</i>	Sageleaf Rockrose	L
<i>Cistus</i> 'Sunset'	NCN	L
<i>Clivia miniata</i> 'Belgian Hybrid Orange'	Belgian Hybrid Orange Kaffir Lily	L
<i>Coprosma kirkii</i>	NCN	L
<i>Coprosma</i> 'Tequila Sunrise'	Tequila Sunrise Mirror Plant	M
<i>Coprosma</i> 'Verde Vista'	NCN	L
<i>Cotoneaster adpressus</i>	Creeping Cotoneaster	L
<i>Cotoneaster dammeri</i> & cvs	NCN	L
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster	L
<i>Cotoneaster salicifolius</i> 'Repens'	NCN	L
<i>Crassula multicava</i>	NCN	L

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<i>Delosperma 'Alba'</i>	White Trailing Ice Plant	L
<i>Drosanthemum floribundum</i>	Rosea Ice Plant	L
<i>Dymondia margaretae</i>	NCN	L
<i>Eriogonum fasciculatum</i> & cvs	Common Buckwheat	AL
<i>Festuca ovina glauca</i>	Blue Fescue	L
<i>Gazania</i> species & cvs	Gazania	LM
<i>Hardenbergia violacea</i> & cvs	False Sarsaparilla	L
<i>Iva hayesiana</i>	Hayes Iva	AL
<i>Juniperus chinensis</i> & cvs	NCN	L
<i>Juniperus conferta</i>	Shore Juniper	L
<i>Juniperus horizontalis</i> & cvs	Creeping Juniper	L
<i>Juniperus sabina</i> & cvs	Tamarix Juniper	L
<i>Lampranthus</i> species	Ice Plant	L
<i>Lantana montevidensis</i> & cvs	Trailing Lantana	L
<i>Liriope muscari</i> 'Love Potion no. 13'	Emerald Goddess® Lilturf	M
<i>Lonicera japonica</i> 'Halliana'	Hall's Japanese Honeysuckle	LM
<i>Mahonia aquifolium</i> 'Compacta'	Compact Oregon Grape	LM
<i>Mahonia repens</i>	Creeping Mahonia	L
<i>Maleophora</i> species	Ice Plant	L
<i>Myoporum</i> hybrids	NCN	L
<i>Myoporum parvifolium</i> & cvs	Prostrate Myoporum	L
<i>Nassella tenuissima</i>	Texas Needle Grass	L
Pacific Meadow Mix Creeping Fescue Blend		M
<i>Philodendron</i> 'Moonlight'	Moonlight Philodendron	M
<i>Pyracantha</i> species & cvs	Firethorn	L
<i>Ribes viburnifolium</i>	Evergreen Currant	L
<i>Rosmarinus officinalis</i> & cvs	Prostrate Rosemary	L
<i>Sansevieria zeylanica</i>	Zeylanica Snake Plant	L
<i>Salvia mellifera</i> & cvs	Prostrate Black Sage	AL
<i>Scaevola</i> 'Mauve Clusters'	NCN	L
<i>Sedum</i> species	Stonecrop	L
<i>Senecio mandraliscae</i>	NCN	L
<i>Sesleria autumnalis</i> 'Campo Azul'	Campo Azul Moor Grass	M
<i>Teucrium cossonii</i>	NCN	LM

Table A-1
Plant Palette

AL	Adapted to region	
L	Low supplemental water needs	
LM	Low to moderate supplemental water needs	
M	Moderate supplemental water needs	
VL	Very Low Water Needs	
H	High Water Needs	
Botanical (Latin) Name	Common Name	Estimated Water Needs in Coastal California
Verbena species & cvs	Verbena	L
Westringia fruticosa 'NFL25'	Mundi Coast Rosemary	L
PERENNIALS		
Achillea species & cvs	Yarrow	L
Anigozanthos species & cvs	Kangaroo Paw	LM
Armeria maritima	Sea Pink	M
Artemesia pycnocephala & cvs	Sandhill Sage	LM
Asteriscus species	NCN	L
Brachycome multifida	Cut-leaf Daisy	LM
Centaurea species	Dusty Miller	L
Centranthus ruber	Red Valerian	AL
Cheiranthus 'Bowles Mauve'	Shrubby Wallflower	LM
Convolvulus cneorum	Bush Morning Glory	L
Convolvulus mauritanicus	Ground Morning Glory	L
Coreopsis species & cvs	Coreopsis	L
Cortaderia selloana	Pampas Grass	L
Dietes species & cvs	Fortnight Lily	L
Diplacus species & hybrids	Monkey Flower	AL
Elymus species & cvs	Giant Wild Rye	L
Epilobium species & cvs	California Fuchsia	L
Erigeron glaucus & cvs	Beach Aster	L
Erigeron karvinskianus	Mexican Daisy	LM
Eriogonum crocatum	Conejo Buckwheat	L
Eriogonum grande ssp. rubescens	Red Buckwheat	L
Eriogonum umbellatum & cv	Sulfur Flower	LM
Eschscholzia californica	California Poppy	AL
Euphorbia milii	Crown of Thorns	L
Euphorbia rigida	NCN	L
Euryops pectinatus & cv	Euryops	L
Gaillardia grandiflora	Blanket Flower	L
Gaura lindheimeri	Gaura	LM
Helianthemum nummularium & cvs	Sunrose	LM
Helictotrichon sempervirens	Blue Oat Grass	L
Hemerocallis species & cvs	Daylily	M
Heuchera species & cvs	Coral Bells	M

Table A-1
Plant Palette

AL	Adapted to region	
L	Low supplemental water needs	
LM	Low to moderate supplemental water needs	
M	Moderate supplemental water needs	
VL	Very Low Water Needs	
H	High Water Needs	
Botanical (Latin) Name	Common Name	Estimated Water Needs in Coastal California
<i>Iris douglasiana</i> & cvs	Pacific Coast Iris	LM
<i>Kniphofia uvaria</i> & cvs	Red-hot Poker	L
<i>Limonium perezii</i>	Sea Lavender	AL
<i>Lobelia laxiflora</i>	Mexican Bush Lobelia	L
<i>Muhlenbergia</i> species	NCN	L
<i>Oenothera</i> species	Mexican Evening Primrose	L
<i>Pennisetum setaceum</i> & cv	Fountain Grass	L
<i>Penstemon</i> species & cvs	Western Natives	L
<i>Perovskia atriplicifolia</i>	Russian Sage	L
<i>Phlomis</i> species	NCN	L
<i>Phormium tenax</i> & cvs	New Zealand Flax	L
<i>Romneya coulteri</i> & cvs	Matilija Poppy	AL
<i>Rosmarinus</i> spp	Rosemary	L
<i>Salvia</i> species & cvs	Sage	AL
<i>Senecio cineraria</i>	Dusty Miller	L
<i>Senecio cylindricus</i>	Narrow-Leaf Chalk Sticks	L
<i>Senecio Serpens</i>	Blue Chalk Sticks	L
<i>Sisyrinchium bellum</i>	Blue-eyed Grass	AL
<i>Stachys byzantina</i>	Lamb's Ear	LM
<i>Strelitzia reginae</i>	Bird Of Paradise	AL
<i>Tagetes lemmonii</i>	Mountain Marigold	L
<i>Thymus</i> species & cvs	Thyme	LM
<i>Tulbaghia violacea</i> & cv	Society Garlic	M
<i>Verbena</i> species & cvs	Verbena	L
<i>Xanthorrhoea</i> species	Grass Tree	L
AGAVE, CACTI, SUCCULENTS, AND YUCCA		
<i>Aeonium</i> species & cvs	NCN	L
<i>Aeonium 'Cabernet'</i>	Giant Velvet Rose	L
<i>Aeonium canariense</i>	Giant Velvet Rose	L
<i>Aeonium 'Sunburst'</i>	Copper Pinwheel	L
<i>Agave americana</i>	Century Plant	L
<i>Agave attenuata</i>	Foxtail Agave	L
<i>Agave shawii</i>	Shaw's Century Plant	L
<i>Agave victoriae-reginae</i>	NCN	L
<i>Agave vilmoriniana</i>	Octopus Agave	L

Table A-1
Plant Palette

		Estimated Water Needs in Coastal California
AL	Adapted to region	
L	Low supplemental water needs	
LM	Low to moderate supplemental water needs	
M	Moderate supplemental water needs	
VL	Very Low Water Needs	
H	High Water Needs	
Botanical (Latin) Name	Common Name	
<i>Aloe arborescens</i>	Tree Aloe	AL
<i>Aloe bainesii</i>	NCN	AL
<i>Aloe candelabrum</i>	Candelabra Aloe	L
<i>Aloe ciliaris</i>	NCN	L
<i>Aloe ferox</i>	NCN	L
<i>Aloe marlothii</i>	NCN	L
<i>Aloe nobilis</i>	NCN	L
<i>Aloe plicatilis</i>	NCN	L
<i>Aloe striata</i>	Coral Aloe	L
<i>Aloe vera</i>	Medicinal Aloe	L
<i>Beaucarnea recurvata</i>	Ponytail Tree	L
<i>Beschorneria septentrionalis</i>	False Red Agave	M
<i>Cereus peruvianus</i>	Peruvian Apple	L
<i>Cordyline australis</i>	Dracaena Palm	L
<i>Cotyledon</i> species	NCN	L
<i>Crassula capitella</i> 'Campfire'	Campfire Crassula	L
<i>Crassula</i> species	Jade Plant	L
<i>Dasylirion</i> species	Desert Spoon	L
<i>Delosperma nubigenum</i> 'Baustoland'	Trailing Ice Plant	L
<i>Dracaena draco</i>	Dragon Tree	L
<i>Dudleya</i> species	Live-forever	AL
<i>Dyckia</i> 'Burgundy Ice'	Burgundy Ice Dyckia	L
<i>Echeveria</i> species	Echeveria	L
<i>Echeveria nodulosa</i>	Painted Echeveria	L
<i>Echeveria</i> 'Perle von Nurnberg'	Perle von Nurnberg Echeveria	L
<i>Echeveria subrigida</i> 'Fire and Ice'	Fire and Ice Echeveria	L
<i>Euphorbia</i> <i>ingens</i>	Candelabra Tree	L
<i>Euphorbia</i> <i>tirucalli</i>	Milkbush	L
<i>Furcraea foetida</i> 'Mediopicta'	Mauritius Hemp	L
<i>Hesperaloe</i> <i>parviflora</i>	Red Yucca	L
<i>Kalanchoe</i> species	NCN	L
<i>Nolina</i> species	Bear Grass	L
<i>Opuntia</i> species	Prickly Pear, Cholla	L
<i>Portulacaria</i> <i>africana</i>	Elephant's Food	L
<i>Sedum</i> <i>acre</i>	Gold Moss Stonecrop	L

Table A-1
Plant Palette

AL	Adapted to region
L	Low supplemental water needs
LM	Low to moderate supplemental water needs
M	Moderate supplemental water needs
VL	Very Low Water Needs
H	High Water Needs

Botanical (Latin) Name	Common Name	Estimated Water Needs in Coastal California
<i>Sedum reflexum</i> 'Angelina'	Angelina Stonecrop	L
<i>Sedum reflexum</i> 'Blue Spruce'	Blue Spruce Stonecrop	L
<i>Yucca aloifolia</i>	Spanish Bayonet	L
<i>Yucca gloriosa</i>	Spanish Dagger	L
<i>Yucca whipplei</i>	Our Lord's Candle	AL

Source: Excerpted from Landscape Plants for Western Regions by Bob Perry.

APPENDIX B
LIGHTING PALETTE

APPENDICES

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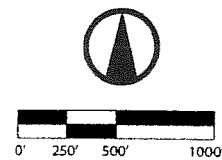
THE DISTRICT AT SOUTH BAY LIGHTING PALETTE

The proposed palette of lighting fixtures, presented below, demonstrates examples of systems that would be in compliance with the design guidelines and to provide examples of the architectural scale and quality of these materials. These fixtures selections should meet the performance criteria of the guidelines while providing an attractive complement to the building and landscape. For each building-type and roadway component within the proposed development, examples of fixture types that would be applicable are illustrated below. These fixtures represent examples of lighting products that will satisfy the guidelines criteria and legal requirements for task illuminance, light trespass, and glare.



LEGEND

A. Typical Del Amo Entrance	E. Typical Residential/Commercial Interface
B. Typical Street A	F. I-405 Freeway/Commercial Interface
C. Typical Street B	G. Entertainment Area Accent
D. Typical Parking Lots	

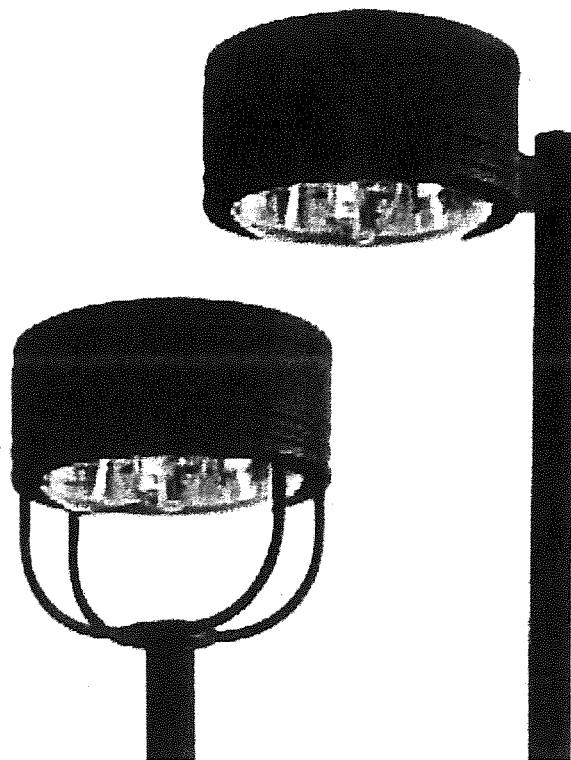


Note: This is a graphic representation of a planning concept. All graphics in this document are conceptual and should not be interpreted literally. Other solutions, locations and/or concepts may be proposed and reviewed during site plan and design review and other permit and mapping processes.

The following example is applicable to:

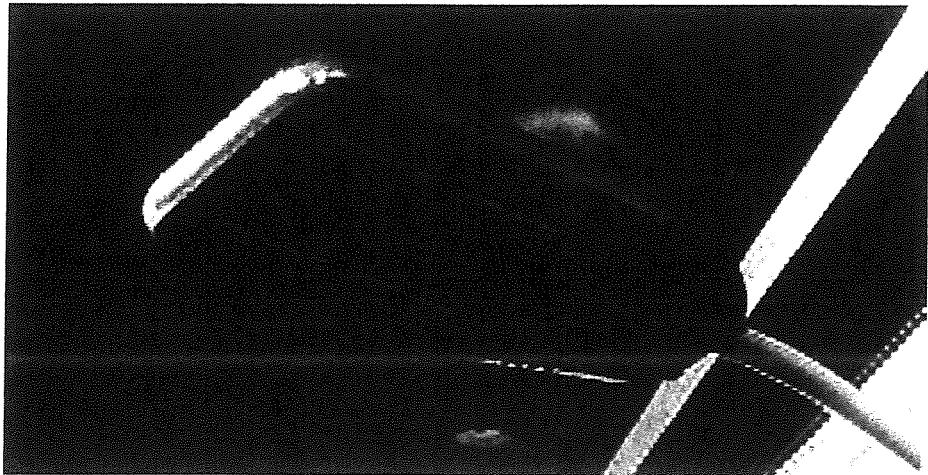
Section A - Typical Del Amo Entry

Section E - Typical Residential/Project Interface



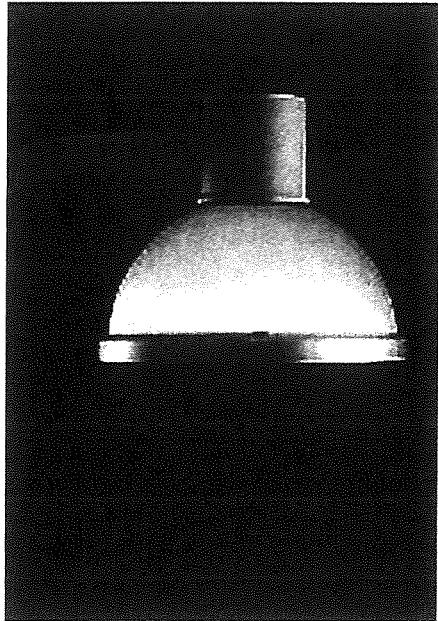
The following example is applicable to:

Section B - Typical Street A
Section C - Typical Street C
Section D - Typical Parking Lots
Section F - 405 Freeway Edge/Commercial Interface



The following example is applicable to:

Section G - Entertainment Driveway Accent



APPENDICES

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APPENDIX C
CONSISTENCY ANALYSIS

APPENDICES

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Table C-1
Consistency Analysis

Policy #	Relevant Policy	Analysis of Project Consistency
CITY OF CARSON GENERAL PLAN, LAND USE ELEMENT (2004) - POLICIES		
LU-1	Productive reuse of "brownfield" site.	Development under this Specific Plan would put to productive use a contaminated, former landfill/brownfield site, via site remediation through implementation of the RAP.
LU-5.2	Implement and expand strategies to market, attract, and/or retain retail commercial areas and encourage businesses to participate.	Development under this Specific Plan would establish the Project site as a signature project along the I-405 Freeway, well located with regard to other freeways. Development under this Specific Plan would offer high visibility in a new, planned development. It would include entertainment uses to attract visitors and meet the needs of local population. Within specific retail sectors, development on the Property is not anticipated to result in short- or long-term impacts to the regional commercial sector but is projected to have a short-term negative effect on the local-serving commercial sector. However, it is forecasted that these short-term effects would be substantially reduced in the long term as projected household growth continues into the future.
LU-5.3	Identify unique economic opportunities, such as niche markets, that will allow the City to capitalize on its location, its cultural diversity, and the tourism industry in the region.	Development under this Specific Plan would provide a regional facility in a mixed-use development, visibly noticeable along a major freeway corridor. The large scale of the Project Site and the proposed mix of visitor and local serving uses would create an opportunity to support a large range of uses, including specialized markets.
LU-6.2	Achieve a sustainable land use balance through provision of incentives for desired uses; coordination of land use and circulation patterns; and promotion of a variety of housing types and affordability.	Development under this Specific Plan would construct an internal circulation system on the Property that would be linked with the regional network and linked to the Avalon Boulevard interchange. The mitigation measures would include improvements to reduce impacts on the local road network within the City's jurisdiction where feasible, and where consistent with other General Plan policies. Development under this Specific Plan, in combination with the 300 residential units entitled for construction on DD3, would add up to 1,550 new housing units, thus adding to the range and mix of housing available in the City of Carson. Retail uses would serve both local (City residents) and regional populations. Within specific retail sectors, development on the Property is not anticipated to result in short- or long-term impacts to the regional commercial sector but is projected to have a short-term negative effect on the local-serving commercial sector. However, it is forecasted that these short-term effects would be substantially reduced in the long term as household growth continues into the future.

Table C-1
Consistency Analysis

Policy #	Relevant Policy	Analysis of Project Consistency
LU-6.3	Consider establishing minimum land use density requirements in certain areas such as mixed-use zones to provide more efficient, consistent, and compatible development patterns while also promoting greater potential for pedestrian and transit oriented development.	Development under this Specific Plan would be implemented under the SPA ¹ which allows for mixed-use development in an efficient manner. Density and height limits would allow for mid-rise residential development including densities up to 60 du/ac. Development under this Specific Plan includes provision for pedestrian and bicycle transit and can be linked to nearby public transit routes.
LU-6.6	Attract land uses that generate revenue to the City of Carson, while maintaining a balance of other community needs such as housing, open space, and public facilities.	Development under this Specific Plan would include up to approximately 1,834,333 sq.ft. of commercial use that would be generating revenue to the City. Development under this Specific Plan, in combination with the 300 units entitled for construction on DD3, could add up to 1,550 housing units if fully developed, intermixed with plazas and open space.
LU-7.2	Locate truck intensive uses in areas where the location and circulation pattern will provide minimal impacts on residential and commercial uses.	Commercial loading areas would be screened where appropriate and truck loading activities would be set back from residential uses to minimize impacts on residential uses. Loading areas are located in areas on the Project site that would minimize conflicts with commercial uses.
LU-7.3	Promote the use of buffers between more intensive industrial uses and residential uses.	Development under this Specific Plan would include no industrial uses. New residential development would not be located adjacent to intensive industrial uses.
LU-8.1	Amend the Zoning Ordinance to provide for those Mixed Use areas identified on the General Plan Land Use Plan.	The land use for the Project site is Mixed-Use Residential. Since the approval of the approved Specific Plan in 2006, the zoning for this site has been consistent with the Mixed-Use land use designation. ²
LU-8.3	Locate higher density residential uses in proximity to commercial centers in order to encourage pedestrian traffic and provide a consumer base for commercial uses.	Development under this Specific Plan includes the potential for high density residential development within a mixed-use project containing up to 1,834,833 sq.ft. of commercial activity. The SPA includes a pedestrian circulation system that connects the various components of the Project site.
LU-11.1	Target potential sites or areas for the development of signature projects.	Project implementation would create a signature project at a location that has been identified as being conducive to such a project, due to the Project site's location along the I-405 Freeway, visual accessibility from the I-405 Freeway and its location within the central area of Carson.

1. "SPA" refers to this Specific Plan Amendment.

2. As part of the 2006 amendment to the General Plan (No. 13-05), LU-IM-8.1 was revised to state: "The area formerly occupied by Cal Compact, along the 405 Freeway; uses to be permitted include a mix of High Density Residential, General Commercial, and Regional Commercial."

Table C-1
Consistency Analysis

Policy #	Relevant Policy	Analysis of Project Consistency
LU-11.2	Encourage development of desired uses such as quality retail, restaurant uses, and entertainment in targeted areas.	Development under this Specific Plan would include up to 1,834,833 sq.ft. of commercial space on the Property. Based on the current Conceptual Project Components Plan, up to 711,500 sq.ft. of luxury outlet retail uses, 100,000 sq.ft. is designated for restaurants, and 130,000 sq.ft. is designated for commercial recreation/entertainment. The SPA would encourage the development of these use within a concentrated area within the City.
LU-12.3	Review landscape plans for new development to ensure that landscaping relates well to the proposed land use, the scale of structures, and the surrounding area.	The SPA establishes landscaping concepts for the various areas of the Project site and identifies a palette of permitted plans. The SPA requires site plan and design review for compliance with the SPA to ensure that the proposed landscape plan is consistent with the General Plan objectives and the more-specific requirements of the SPA.
LU-12.5	Improve City appearance by requiring landscaping to screen, buffer and unify new and existing development. Mandate continued upkeep of landscaped areas.	The SPA requires that landscaping within the Property should be consistent in design and cohesive among planning areas. The SPA incorporates landscape requirements to buffer commercial uses from existing residential uses to the south and west of the Project site and requires development setbacks to establish additional buffers. Developers shall be responsible for maintaining landscaped areas within the Property.
LU-13.1	Promote a rhythmic and ceremonial streetscape along the City's arterial roadways, continuing the use of landscaped medians.	The Project continues to promote maintenance of landscaped medians throughout the City. In addition, landscaping is required by the SPA along internal public streets, and the SPA identifies landscaping concepts for each of the roadways.
LU-13.3	Continue and, when possible, accelerate the undergrounding of utility lines throughout the City.	Per Section 5.3.4 of the SPA, utility lines would be placed underground whenever feasible.
LU-13.4	Encourage architectural variation of building and parking setbacks along the streetscape to create visual interest, avoid monotony and enhance the identity of individual areas.	Once adopted, the Property would be subject to the Design Guidelines in Section 7 of the SPA, which cover site and landscape design standards, as well as architectural standards for each planning area. Other improvements, such as dedicated public plazas and public art, are required in the Entertainment Area and enhance the quality of the pedestrian environment.
LU-13.5	Continue to require landscaping treatment along any part of a building site which is visible from City streets.	Del Amo Boulevard and Main Street are designated as landscape theme areas in the SPA. Landscaping would also be provided along the internal streetscapes, including along Street A and public portions of Street B.

Table C-1
Consistency Analysis

Policy #	Relevant Policy	Analysis of Project Consistency
LU-13.7	Ensure proper maintenance of parkways along arterial streets and landscaping of private property visible from the public right-of way.	The City would be responsible for maintaining parkways along arterial streets, and the developer(s) would be responsible for installing and maintaining landscape in privately owned areas visible from public right-of-way.
LU-14.1	Work with Caltrans to provide and maintain an attractive freeway environment in Carson, including access ramps.	The SPA provides landscape and signage guidelines for the Property and includes a Freeway Edge theme area facing the I-405 Freeway to ensure consistency of signage and plantings in this area. The City would continue to be responsible for the landscape and maintenance of the slope, and would coordinate with Caltrans to ensure acceptable design.
LU-14.2	Require new commercial or industrial development adjacent to and visible from freeways and freeway ramps to incorporate full architectural and landscape treatment of the building on the freeway side.	Landscape standards in the SPA and landscape, site design, and architectural guidelines in SPA Section 7 provide standards for building treatment for development and landscaping on the Property. Buildings would provide a signature entry into the City of Carson. Additionally, final architectural designs are subject to administrative review and approval by the City prior to issuance of building permits.
LU-14.4	Provide entry markers with landscaping on the major arterials.	Project entries from arterials roads are designated within the SPA as "Entries" landscape theme areas, and would be subject to enhanced landscaping standards.
LU-15.1	Encourage the location of housing, jobs, shopping, services and other activities within easy walking distance of each other.	Development under this Specific Plan, in combination with the 300 residential units entitled for construction on DD3, includes mixed uses with up to 1,550 residential units and up to 1,834,833 sq.ft. of commercial use within the Property. The conceptual site design within the SPA includes a pedestrian circulation system that connects the various components of the Property, thereby facilitating the type of pedestrian activity targeted by this policy.
LU-15.2	Maintain a diversity of housing types to enable citizens from a wide range of economic levels and age groups to live in Carson.	Development under this Specific Plan, in combination with the 300 residential units entitled for construction on DD3, could construct up to 1,550 units in total if fully built, which would contribute to the range of housing opportunities within the City of Carson.
LU-15.3	Ensure that community transportation facilities are connected to a larger transit network.	The Project Site's internal circulation system would provide access to Main Street and Avalon Boulevard via Del Amo Boulevard, with accessibility to the I-405 Freeway via the ramp constructed at Avalon Boulevard. In addition, new bus stops may be located on Street A and/or Del Amo Boulevard.

Table C-1
Consistency Analysis

Policy #	Relevant Policy	Analysis of Project Consistency
LU-15.4	Develop a center focus within the community that combines commercial, civic, cultural and recreational uses.	The Project site is located within the central part of the City. The development of the Project Site with a variety of commercial and entertainment venues would contribute development at a location amidst the Carson Civic Center, the StubHub Center, California State University at Dominguez Hills, the South Bay Pavilion, and the Victoria Golf Course and Park, thus adding to the centrality of such community uses.
LU-15.5	Ensure that the design of public spaces encourages the attention and presence of people at all hours of the day and night.	Development under this Specific Plan is anticipated to offer entertainment and dining as well as shopping opportunities. These activities would continue into the evening hours. The SPA includes standards for public art and landscaping to enhance the public spaces.
LU-15.6	Ensure development of pedestrian oriented improvements which provide better connections between and within all developments while reducing dependence on vehicle travel.	Development under this Specific Plan includes an internal system of pedestrian sidewalks and pathways that would interconnect all portions of the Property.
CITY OF CARSON GENERAL PLAN, HOUSING ELEMENT (2014-2021)—POLICIES		
H-1.3	Promote economic well being of the City by encouraging the development and diversification of its economic base.	Development under this Specific Plan would include up to 1,834,833 sq.ft. of commercial uses. Commercial uses are anticipated to include a broad array of uses; e.g., regional commercial, including outlet uses, neighborhood commercial, restaurants, commercial recreation/entertainment, and hotel uses. Within specific retail sectors, development on the Property is not anticipated to result in short- or long-term impacts to the regional commercial sector but is projected to have a short-term negative effect on the local-serving commercial sector. However, it is forecasted that these short-term effects would be substantially reduced in the long term as household growth continues into the future.
H-1.5	Establish and maintain development standards that support housing development while protecting the quality of life.	Development under this Specific Plan, in combination with the 300 residential units entitled for construction on DD3, would provide up to 1,550 housing units. These housing units would be developed subject to development and design guidelines established in the SPA, addressing such items as but not limited to site planning, building massing, color and materials, and building detailing.
H-2.2	Assure residential safety and security	Residential, mixed-use, and commercial development would be subject to the lighting standards set forth in SPA Section 6.7, which provide minimum nighttime standards to ensure safety. In addition, a Community Safety Center would be provided for the Project Site for use by the Property's private security force and the Los Angeles County Sheriff's Department.

Table C-1
Consistency Analysis

Policy #	Relevant Policy	Analysis of Project Consistency
H-2.7	Require excellence in the design of housing through the use of materials and colors, building treatments, landscaping, open space, parking, environmentally sensitive and sustainable building design.	Residential and residential mixed-use buildings would be required to comply with the site design, landscape, and architectural standards established in SPA Section 6.4 and Section 7. The architectural intent of this Specific Plan is to create a development that serves as a signature gateway into the City of Carson, and provides significant aesthetic improvement over the existing landfill.
H-3.1	Facilitate and encourage diversity in types, prices, ownership, and size of single-family homes, apartments, townhomes, mixed-use housing, transit-oriented development, and live-work housing.	The proposed housing units (up to 1,550 units in total with the 300 units entitled for construction on DD3) would add multi-family residential units of varying sizes, which would increase the variety of housing opportunities within the City. In addition, the Specific Plan allows for residential development in close proximity to commercial development, and live-work housing is permitted in portions of the Project site.
H-3.2	Work to expand the resource of developable land by making underutilized land available for development.	Development under this Specific Plan would put to productive use a contaminated, former landfill/brownfield site, via site remediation through implementation of the RAP.
H-3.6	Promote the development of multifamily housing.	The SPA designates approximately 15 acres in PA 1 and PA 2 permitting multi-family residential units at densities of up to 60 du/ac (or on PA 1, at greater density, up to 80 du/ac with a General Plan amendment).
H-3.7	Encourage residential development along transit corridors and in close proximity to employment, transportation and activity centers.	Development under this Specific Plan, in combination with the 300 residential units entitled for construction on DD3, provides for up to 1,550 residential units in mixed-use buildings or in close proximity to a major commercial center. Additionally, the Project Site is in close proximity to several other major commercial centers, as well as the StubHub Center.
CITY OF CARSON GENERAL PLAN, ECONOMIC DEVELOPMENT ELEMENT (2013)—POLICIES		
ED-1.2	Encourage the development of quality housing.	Development under this Specific Plan, in combination with the 300 residential units entitled for construction on DD3, would include up to 1,550 new housing units. These units would be required to meet SPA standards for building design, landscaping, and other development standards, including security requirements, minimum open space standards and development of recreational opportunities for residents, and interior noise level restrictions that would encourage development of quality housing.

Table C-1
Consistency Analysis

Policy #	Relevant Policy	Analysis of Project Consistency
ED-1.4	<p>Strengthen the physical image of Carson through visual enhancement along freeway corridors, major traffic routes, and areas adjoining residential neighborhoods. To this end:</p> <ul style="list-style-type: none"> • Aggressively pursue code enforcement activities; • Develop good design standards; and • Establish a City identity. 	<p>Development under this Specific Plan has been designed to take advantage of its location adjacent to the I-405 Freeway. Development under this Specific Plan would (1) present a substantial new development along the freeway edge that would attract public attention; (2) provide identification of the Project Site's visitor-oriented commercial recreation/entertainment activities through building placement and/or signage; (3) include, through SPA requirements, a set of sign and landscape standards and guidelines that would integrate the Specific Plan's proposed signage program with the overall aesthetic concept for the development under this Specific Plan; and (4) include, through the SPA, provisions for landscaping/aesthetic treatment along the Project Site's freeway edge.</p>
ED-1.6	<p>Provide appropriate infrastructure to support economic development.</p>	<p>Development under this Specific Plan would include an internal infrastructure system that is designed to meet all onsite uses and would not have significant impacts on existing services.</p>
ED-2.7	<p>Identify unique economic opportunities, such as niche markets, that will allow the city to capitalize on the city's location in Southern California, the community's cultural diversity, and the tourism industry in the region.</p>	<p>Development under this Specific Plan would provide a regional facility in a mixed-use development, visibly noticeable along a major freeway corridor. The large scale of the development under this Specific Plan and the proposed mix of visitor and local serving uses would create an opportunity to support a large range of uses, including specialized markets, and the outlet uses would provide a new tourist destination in the City.</p>
ED-2.8 (formerly and in FEIR, ED- 3.6	<p>Capitalize on potential physical and market linkages among land uses.</p>	<p>Development under this Specific Plan is a mixed-use project that, together with the 300 units on DD3, would include up to 1,550 units. These uses would provide an estimated 4,550 new residents that would support the this Specific Plan's commercial components. The population growth generated by development under this Specific Plan would also support other commercial enterprises in the vicinity of the Property, and the commercial component would serve populations in surrounding neighborhoods.</p>

Table C-1
Consistency Analysis

Policy #	Relevant Policy	Analysis of Project Consistency
ED-3.3 (formerly and in FEIR, ED-4.3)	Support public/private efforts and link infrastructure and service costs with development projects.	Development under this Specific Plan is a remediation and infrastructure project financed through a combination of public and private funds, and a series of private development projects financed by applicants and developed upon land currently owned by the Carson Planning Reclamation Authority. The project includes public financing mechanisms that could include, but are not limited to, community facilities districts and state and federal funding that may become available.
ED-3.4 (formerly and in FEIR, ED-4.4)	Encourage development opportunities that increase economic gains to the City.	Development under this Specific Plan would include up to 1,834,833 sq.ft. of space for commercial development. Commercial activities would include a broad array of uses; e.g., regional commercial, neighborhood commercial, restaurants, commercial recreation/entertainment, and hotel uses that would generate additional tax revenues for the City. Within specific retail sectors, development on the Property is not anticipated to result in short- or long-term impacts to the regional commercial sector but is projected to have a short-term negative effect on the local-serving commercial sector. However, it is forecasted that these short-term effects would be substantially reduced in the long term as household growth continues into the future.
ED-6.1 (formerly and in FEIR, ED-7.1)	Encourage the diversification of land uses, while not alienating existing businesses or industries requiring space in Carson.	Development under this Specific Plan would increase the diversification of land uses by (1) adding substantial amounts of new commercial and residential development; (2) including commercial activities that do not presently occur, or are non-present in the City; e.g., outlet and certain types of commercial recreation/entertainment; (3) including housing that varies in density and relationship to commercial activity from the existing prevalent housing. The City has large amounts of industrial land available, including sites in the vicinity of the Project Site, most of it located in districts better suited for industrial activity than the Project Site. Within specific retail sectors, development on the Property is not anticipated to result in short- or long-term impacts to the regional commercial sector but is projected to have a short-term negative effect on the local-serving commercial sector. However, it is forecasted that these short-term effects would be substantially reduced in the long term as household growth continues into the future.

**Table C-
Consistency Analysis**

Policy #	Relevant Policy	Analysis for Project Consistency
ED-6.2 (formerly and in the FEIR, ED-7.2)	Improve the actual and perceived image of the City through improved design standards, amenities, security, continuing public improvements and positive advertising campaigns.	Development on the Property would occur pursuant to various design and development standards established in the SPA to ensure harmonious relationships between uses; e.g., standards regarding site planning, building massing, color and materials, building detailing, etc. These standards are more detailed than those currently included within the City Zoning Ordinance.
ED-8.1	Identify target or niche industries or companies suitable for Carson looking for large areas of space, diversifying the economic base.	The SPA allows for the possibility of outlet uses, which would serve as a regional draw to Carson, as well as attracting a significant tourist clientele. The outlets, proposed for PA 2, would occupy approximately 46 acres of land.
ED-9.2	Encourage development of desired uses such as quality retail, restaurant uses, and entertainment in target areas	Proposed commercial uses include regional commercial, neighborhood commercial, restaurants, commercial recreation/entertainment, and hotel uses, all organized in a visitor-oriented district. Development under this Specific Plan is of sufficient size to offer a range of such uses and support the anticipated inclusion of quality retail and restaurant uses. The Project Site is located within the City at a highly visible location, one targeted for such development in existing plans.
ED-10.1 (formerly and in FEIR, ED-11.1)	Encourage the revitalization and cleanup of underutilized and contaminated land.	Development under this Specific Plan would put to productive use a contaminated, former landfill/brownfield site, via site remediation through implementation of the RAP.
ED-10.2 (formerly and in FEIR, ED-11.2)	Maintain proper infrastructure levels and flexible financing options to encourage remediation and revitalization of brownfields.	Development under this Specific Plan is a remediation and infrastructure project financed through a combination of public and private funds, and a series of private development projects financed by applicants and developed upon land currently owned by the Carson Planning Reclamation Authority. The project includes public financing mechanisms that could include, but are not limited to, community facilities districts and state and federal funding that may become available.
ED-10.3 (formerly and in FEIR, ED-11.3)	Understand and promote available land inventory and initiate strategies to develop balanced land use planning.	Development under this Specific Plan would put to productive use a contaminated, former landfill/brownfield site, via site remediation though implementation of the RAP. It would increase the amounts of housing and commercial activity within the City. Further, it would implement a mixed-use development with a mix/balance of uses that could serve as a model for mixed-use development.

Table C-1
Consistency Analysis

Policy #	Relevant Policy	Analysis of Project Consistency
ED-10.4 (formerly and in FEIR, ED-11.4)	Encourage development of compatible uses and phase out non-conforming uses.	The SPA authorizes development of a vertically or horizontally integrated mixed-use project and encourages interaction among these uses to promote a lively community center. The SPA also recognizes the security and privacy needs of residents and contains standards and guidelines to shield on-site residential uses from the noise and activity likely to take place at the Property's commercial sites. Commercial activity would avoid conflict with residential development to the south and southwest of the Project site due to vertical and horizontal distance, an intervening landscaped slope and design features for that development.
CITY OF CARSON GENERAL PLAN, OPEN SPACE AND CONSERVATION ELEMENT		
OS-1.2	Maintain existing landscaping along the City's major streets and expand the landscaping program along other arterial streets throughout the community.	Del Amo Boulevard and Main Street are designated as one of the landscape theme areas in the SPA. Project entries from arterials roads are designated within the SPA as "Entries" landscape theme areas and would be subject to enhanced landscaping standards. Landscape would also be required along the internal streetscapes, including along Street A and public portions of Street B, which would be designated as a public street.
OS-1.3	Require that adequate, usable and permanent private open space is provided in residential developments.	Open space is required for residential development in Section 5.2 of the SPA. Additional requirements for private open space on the Property are detailed in SPA Table 6.2-1, General Development Standards.
OS 4.3	Facilitate physical collection of recyclable waste.	Per SPA Section 5.3.4, development under this Specific Plan is required to provide recycling services for construction debris, and general recycling for residential and commercial uses should be continued after construction ends. A comprehensive recycling plan should be submitted with site plan and design submittals to the City.

APPENDIX D
RESERVED

APPENDICES

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**APPENDIX E
RESERVED**

APPENDICES

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APPENDIX F
RESERVED

APPENDIX G
CARSON MUNICIPAL CODE SECTION 9173.4

APPENDICES

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9173.4 Appeals.

- A. Appellate Authority. Any decision made by the Director pursuant to this Chapter may be appealed to the Commission. Any decision made by the Commission pursuant to this Chapter maybe appealed to the Council.
- B. Filing of Appeal.
 1. An appeal may be filed by any person, including any member of the City Council or the City Administrator.
 2. An appeal shall be filed in writing within fifteen (15) days of the date of the Commission action, or in the case of an action by the Director, within fifteen (15) days of the date of the notice of decision.
 3. The form and content of an appeal shall include:
 - a. The street address, if there is one, otherwise the legal description and location of the premises included in the action.
 - b. The administrative file number (case number) identifying the matter which is being appealed.
 - c. The specific matter being appealed.
 - d. A statement of the grounds for appeal or how there is error in the decision of the matter being appealed.
 4. Unless otherwise provided, all appeals shall be filed with the City Clerk.
 5. If the appeal is found to be deficient, the City Clerk shall deliver or mail to the appellant, by certified mail, a notice specifying the particulars in which the appeal is deficient. If such deficiency has not been corrected by the appellant within seven (7) days after such mailing of such a notice of deficiency by filing with the City Clerk a sufficient amendment to the appeal, the appeal shall be deemed to be withdrawn and the appeal fee shall be returned to the appellant.

C. Consideration and Decision.

1. Upon acceptance of the filing of an appeal, the City Clerk shall set the matter for public hearing before the appellate body, in the same manner as required for a Commission hearing of such matter. The City Clerk shall notify the Director who shall transmit to the appellate body a summary of the factual data and the record of action taken on the case.
2. Except as otherwise provided in this Chapter, in acting on an appeal the appellate body may:
 - a. Affirm the decision; or
 - b. Modify the decision; or
 - c. Refer the matter back to the body from which the appeal originated, with instructions; or
 - d. Reverse the decision.
3. Unless referred back to the body from which the appeal originated, the appellate decision shall be supported by written findings. (Ord. 78-458, § 1; Ord. 83-668, § 1; Ord. 84-701, § 1)

D. Failure to Act. The appellate body shall, within sixty (60) days of the filing of an appeal, act to either affirm, reverse, modify, continue or refer matter back.

ATTACHMENT "B"
GENERAL PLAN CONSISTENCY FINDINGS FROM SEIR

Table IV.A-1

Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
<u>LAND USE ELEMENT (2004)</u>	
Goal LU-1	Productive reuse of "brownfield" site.
LU-5.2	Implement and expand strategies to market, attract, and/or retain retail commercial areas and encourage businesses to participate.
LU-5.3	Identify unique economic opportunities, such as niche markets, that will allow the City to capitalize on its location, its cultural diversity, and the tourism industry in the region.
LU 6.2	Achieve a sustainable land use balance through provision of incentives for desired uses; coordination of land use and circulation patterns; and promotion of a variety of housing types and affordability.

Table IV.A-1

Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
LU-6.3 Consider establishing minimum land use density requirements in certain areas such as mixed-use zones to provide more efficient, consistent, and compatible development patterns while also promoting greater potential for pedestrian and transit oriented development.	The proposed modified Project would be implemented under the SPA which allows for mixed-use development in an efficient manner. Density and height limits would allow for mid-rise residential development including densities up to 60 du/ac. The proposed modified Project includes provision for pedestrian and bicycle transit and can be linked to nearby public transit routes.
LU-6.6 Attract land uses that generate revenue to the City of Carson, while maintaining a balance of other community needs such as housing, open space, and public facilities.	The proposed modified Project would include up to approximately 1,834,333 sq. ft. of commercial use that would be generating revenue to the City. The proposed modified Project, in combination with the 300 units entitled for construction on DD3, could add up to 1,550 housing units if fully developed, intermixed with plazas and open space.
LU-7.2 Locate truck intensive uses in areas where the location and circulation pattern will provide minimal impacts on residential and commercial uses.	Commercial loading areas would be screened where appropriate and truck loading activities would be set back from residential uses to minimize impacts on residential uses. Loading areas are located in areas on the Project site that would minimize conflicts with commercial uses.
LU-7.3 Promote the use of buffers between more intensive industrial uses and residential uses.	The proposed modified Project would include no industrial uses. New residential development would not be located adjacent to intensive industrial uses.
LU-8.1 Amend the Zoning Ordinance to provide for those Mixed Use areas identified on the General Plan Land Use Plan.	The land use for the Project site is Mixed-Use Residential. Since the approval of the approved Specific Plan in 2006, the zoning for this site has been consistent with the Mixed-Use land use designation. ¹⁵
LU-8.3 Locate higher density residential uses in proximity to commercial centers in order to encourage pedestrian traffic and provide a consumer base for commercial uses.	The proposed modified Project includes the potential for high density residential development within a mixed-use project containing up to 1,834,833 sq. ft. of commercial activity. The SPA includes a pedestrian circulation system that connects the various components of the Project site.
LU-11.1 Target potential sites or areas for the development of signature projects.	Project implementation would create a signature project at a location that has been identified as being conducive to such a project, due to the Project site's location along the I-405 Freeway, visual accessibility from the I-405 Freeway and its location within the central area of Carson.

¹⁵As part of the 2006 amendment to the General Plan (No. 13-05), LU-IM-8.1 was revised to state: "The area formerly occupied by Cal Compact, along the 405 Freeway, uses to be permitted include a mix of High Density Residential, General Commercial, and Regional Commercial."

Table IV.A-1

Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
LU-11.2 Encourage development of desired uses such as quality retail, restaurant uses, and entertainment in targeted areas.	The proposed modified Project would include up to 1,834,833 sq. ft. of commercial space on the Property. Based on the current Conceptual Project Components Plan, up to 711,500 sq. ft. of luxury outlet retail uses, 100,000 sq. ft. is designated for restaurants, and 130,000 sq. ft. is designated for commercial recreation/entertainment. The SPA would encourage the development of these use within a concentrated area within the City.
LU-12.3 Review landscape plans for new development to ensure that landscaping relates well to the proposed land use, the scale of structures, and the surrounding area.	The SPA establishes landscaping concepts for the various areas of the Project site and identifies a palette of permitted plans. The SPA requires site plan and design review for compliance with the SPA to ensure that the proposed landscape plan is consistent with the General Plan objectives and the more-specific requirements of the SPA.
LU-12.5 Improve City appearance by requiring landscaping to screen, buffer and unify new and existing development. Mandate continued upkeep of landscaped areas.	The SPA requires that landscaping within the Property should be consistent in design and cohesive among planning areas. The SPA incorporates landscape requirements to buffer commercial uses from existing residential uses to the south and west of the Project site and requires development setbacks to establish additional buffers. Developers shall be responsible for maintaining landscaped areas within the Property.
LU-13.1 Promote a rhythmic and ceremonial streetscape along the City's arterial roadways, continuing the use of landscaped medians.	The Project continues to promote maintenance of landscaped medians throughout the City. In addition, landscaping is required by the SPA along internal public streets, and the SPA identifies landscaping concepts for each of the roadways.
LU-13.3 Continue and, when possible, accelerate the undergrounding of utility lines throughout the City.	Per Section 5.3.4 of the SPA, utility lines would be placed underground whenever feasible.
LU-13.4 Encourage architectural variation of building and parking setbacks along the streetscape to create visual interest, avoid monotony and enhance the identity of individual areas.	Once adopted, the Property would be subject to the Design Guidelines in Section 7 of the SPA, which cover site and landscape design standards, as well as architectural standards for each planning area. Other improvements, such as dedicated public plazas and public art, are required in the Entertainment Area and enhance the quality of the pedestrian environment.
LU-13.5 Continue to require landscaping treatment along any part of a building site which is visible from City streets.	Del Amo Boulevard and Main Street are designated as landscape theme areas in the SPA. Landscaping would also be provided along the internal streetscapes, including along Street A and public portions of Street B, which would be designated as a public street.

Table IV.A-1

Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
LU-13.7 Ensure proper maintenance of parkways along arterial streets and landscaping of private property visible from the public right-of-way.	The City would be responsible for maintaining parkways along arterial streets, and the developer(s) would be responsible for installing and maintaining landscape in privately owned areas visible from public right-of-way.
LU 14.1 Work with Caltrans to provide and maintain an attractive freeway environment in Carson, including access ramps.	The SPA provides landscape and signage guidelines for the Property and includes a Freeway Edge theme area facing the I-405 Freeway to ensure consistency of signage and plantings in this area. The City would continue to be responsible for the landscape and maintenance of the slope, and would coordinate with Caltrans to ensure acceptable design.
LU-14.2 Require new commercial or industrial development adjacent to and visible from freeways and freeway ramps to incorporate full architectural and landscape treatment of the building on the freeway side.	Landscape standards in the SPA and landscape, site design, and architectural guidelines in SPA Section 7 provide standards for building treatment for development and landscaping on the Property. Buildings would provide a signature entry into the City of Carson. Additionally, final architectural designs are subject to administrative review and approval by the City prior to issuance of building permits.
LU-14.4 Provide entry markers with landscaping on the major arterials.	Project entries from arterials roads are designated within the SPA as "Entries" landscape theme areas, and would be subject to enhanced landscaping standards.
LU-15.1 Encourage the location of housing, jobs, shopping, services and other activities within easy walking distance of each other.	The proposed modified Project, in combination with the 300 residential units entitled for construction on DD3, includes mixed uses with up to 1,550 residential units and up to 1,834,833 sq. ft. of commercial use within the Property. The conceptual site design within the SPA includes a pedestrian circulation system that connects the various components of the Property, thereby facilitating the type of pedestrian activity targeted by this policy.
LU-15.2 Maintain a diversity of housing types to enable citizens from a wide range of economic levels and age groups to live in Carson.	The proposed modified Project, in combination with the 300 residential units entitled for construction on DD3, could construct up to 1,550 units in total if fully built, which would contribute to the range of housing opportunities within the City of Carson.
LU-15.3 Ensure that community transportation facilities are connected to a larger transit network.	The proposed modified Project's internal circulation system would provide access to Main Street and Avalon Boulevard via Del Amo Boulevard, with accessibility to the I-405 Freeway via the ramp constructed at Avalon Boulevard. In addition, new bus stops may be located on Street A and/or Del Amo Boulevard.

Table IV.A-1

Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
LU-15.4 Develop a center focus within the community that combines commercial, civic, cultural and recreational uses.	The Project site is located within the central part of the City. The proposed modified Project's development with a variety of commercial and entertainment venues would contribute development at a location amidst the Carson Civic Center, the StubHub Center, California State University at Dominguez Hills, the South Bay Pavilion, and the Victoria Golf Course and Park, thus adding to the centrality of such community uses.
LU-15.5 Ensure that the design of public spaces encourages the attention and presence of people at all hours of the day and night.	The proposed modified Project is anticipated to offer entertainment and dining as well as shopping opportunities. These activities would continue into the evening hours. The SPA includes standards for public art and landscaping to enhance the public spaces.
LU-15.6 Ensure development of pedestrian oriented improvements which provide better connections between and within all developments while reducing dependence on vehicle travel.	The proposed modified Project includes an internal system of pedestrian sidewalks and pathways that would interconnect all portions of the Property.

CITY OF CARSON GENERAL PLAN, HOUSING ELEMENT (2014-2021)—POLICIES

H-1.3 Promote economic well being of the City by encouraging the development and diversification of its economic base.	The proposed modified Project would include up to 1,834,833 sq. ft. of commercial uses. Commercial uses are anticipated to include a broad array of uses; e.g., regional commercial, including outlet uses, neighborhood commercial, restaurants, commercial recreation/entertainment, and hotel uses. Within specific retail sectors, development on the Property is not anticipated to result in short- or long-term impacts to the regional commercial sector but is projected to have a short-term negative effect on the local-serving commercial sector. However, it is forecasted that these short-term effects would be substantially reduced in the long term as household growth continues into the future.
H-1.5 Establish and maintain development standards that support housing development while protecting the quality of life.	The proposed modified Project, in combination with the 300 residential units entitled for construction on DD3, would provide up to 1,550 housing units. These housing units would be developed subject to development and design guidelines established in the SPA, addressing such items as but not limited to site planning, building massing, color and materials, and building detailing.

Table IV.A-1
Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
H-2.2 Assure residential safety and security	Residential, mixed-use, and commercial development would be subject to the lighting standards set forth in SPA Section 6.7, which provide minimum nighttime standards to ensure safety. In addition, a Community Safety Center would be provided for the proposed modified Project for use by the Property's private security force and the Los Angeles County Sheriff's Department.
H-2.7 Require excellence in the design of housing through the use of materials and colors, building treatments, landscaping, open space, parking, environmentally sensitive and sustainable building design	Residential and residential mixed-use buildings would be required to comply with the site design, landscape, and architectural standards established in SPA Section 6.4 and Section 7. The architectural intent of the proposed modified Project is to create a development that serves as a signature gateway into the City of Carson, and provides significant aesthetic improvement over the existing landfill.
H-3.1 Facilitate and encourage diversity in types, prices, ownership, and size of single-family homes, apartments, townhomes, mixed-use housing, transit-oriented development, and live-work housing.	The proposed housing units (up to 1,550 units in total with the 300 units entitled for construction on DD3) would add multi-family residential units of varying sizes, which would increase the variety of housing opportunities within the City. In addition, the proposed modified Project allows for residential development in close proximity to commercial development, and live-work housing is permitted in portions of the Project site.
H-3.2 Work to expand the resource of developable land by making underutilized land available for development.	The proposed modified Project would put to productive use a contaminated, former landfill/brownfield site, via site remediation through implementation of the RAP.
H-3.6 Promote the development of multifamily housing.	The SPA designates approximately 15 acres in PA 1 and PA 2 permitting multi-family residential units at densities of up to 60 du/ac (or on PA 1, at greater density, up to 80 du/ac with a General Plan amendment).
H-3.7 Encourage residential development along transit corridors and in close proximity to employment, transportation and activity centers.	The proposed modified Project, in combination with the 300 residential units entitled for construction on DD3, provides for up to 1,550 residential units in mixed-use buildings or in close proximity to a major commercial center. Additionally, the proposed modified Project is in close proximity to several other major commercial centers, as well as the StubHub Center.

Table IV.A-1

Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
CITY OF CARSON GENERAL PLAN, ECONOMIC DEVELOPMENT ELEMENT (2013)—POLICIES	
ED-1.2 Encourage the development of quality housing.	The proposed modified Project, in combination with the 300 residential units entitled for construction on DD3, would include up to 1,550 new housing units. These units would be required to meet SPA standards for building design, landscaping, and other development standards, including security requirements, minimum open space standards and development of recreational opportunities for residents, and interior noise level restrictions that would encourage development of quality housing.
ED-1.4 Strengthen the physical image of Carson through visual enhancement along freeway corridors, major traffic routes, and areas adjoining residential neighborhoods. To this end: Aggressively pursue code enforcement activities; Develop good design standards; and Establish a City identity.	The proposed modified Project has been designed to take advantage of its location adjacent to the I-405 Freeway. The proposed modified Project would (1) present a substantial new development along the freeway edge that would attract public attention; (2) provide identification of the proposed modified Project's visitor-oriented commercial recreation/entertainment activities through building placement and/or signage; (3) include, through SPA requirements, a set of sign and landscape standards and guidelines that would integrate the proposed modified Project's proposed signage program with the overall aesthetic concept for the proposed modified Project; and (4) include, through the SPA, provisions for landscaping/aesthetic treatment along the proposed modified Project's freeway edge.
ED-1.6 Provide appropriate infrastructure to support economic development.	The proposed modified Project would include an internal infrastructure system that is designed to meet all onsite uses and would not have significant impacts on existing services.
ED-2.7 Identify unique economic opportunities, such as niche markets, that will allow the city to capitalize on the city's location in Southern California, the community's cultural diversity, and the tourism industry in the region.	The proposed modified Project would provide a regional facility in a mixed-use development, visibly noticeable along a major freeway corridor. The large scale of the proposed modified Project and the proposed mix of visitor and local serving uses would create an opportunity to support a large range of uses, including specialized markets, and the outlet uses would provide a new tourist destination in the City.
ED-2.8 (formerly and in FEIR, ED-3.6) Capitalize on potential physical and market linkages among land uses.	The proposed modified Project is a mixed-use project that, together with the 300 units on DD3, would include up to 1,550 units. These uses would provide an estimated 4,550 new residents that would support the proposed modified Project's commercial components. The population growth generated proposed modified Project would also support other commercial enterprises in the vicinity of the Property, and the commercial component would serve populations in surrounding neighborhoods.

Table IV.A-1

Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
ED-3.3 (formerly and in FEIR, ED-4.3)	Support public/private efforts and link infrastructure and service costs with development projects.
ED-3.4 (formerly and in FEIR, ED-4.4)	The proposed modified Project is a remediation and infrastructure project financed through a combination of public and private funds, and a series of private development projects financed by applicants and developed upon land currently owned by the Carson Planning Reclamation Authority. The project includes public financing mechanisms that could include, but are not limited to, community facilities districts and state and federal funding that may become available.
ED-6.1 (formerly and in FEIR, ED-7.1)	Encourage development opportunities that increase economic gains to the City.
ED-6.1 (formerly and in FEIR, ED-7.1)	The proposed modified Project would include up to 1,834,833 sq. ft. of space for commercial development. Commercial activities would include a broad array of uses; e.g., regional commercial, neighborhood commercial, restaurants, commercial recreation/entertainment, and hotel uses that would generate additional tax revenues for the City. Within specific retail sectors, development on the Property is not anticipated to result in short- or long-term impacts to the regional commercial sector but is projected to have a short-term negative effect on the local-serving commercial sector. However, it is forecasted that these short-term effects would be substantially reduced in the long term as household growth continues into the future.

Table IV.A-1
Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
ED-6.2 (formerly and in the FEIR, ED-7.2)	Improve the actual and perceived image of the City through improved design standards, amenities, security, continuing public improvements and positive advertising campaigns.
ED-8.1	Identify target or niche industries or companies suitable for Carson looking for large areas of space, diversifying the economic base.
ED-9.2	Encourage development of desired uses such as quality retail, restaurant uses, and entertainment in target areas
ED-10.1 (formerly and in the FEIR, ED-11.1)	Encourage the revitalization and cleanup of underutilized and contaminated land.
ED-10.2 (formerly and in the FEIR, ED-11.2)	Maintain proper infrastructure levels and flexible financing options to encourage remediation and revitalization of brownfields.
ED-10.3 (formerly and in the FEIR, ED-11.3)	Understand and promote available land inventory and initiate strategies to develop balanced land use planning.

Table IV.A-1
Proposed Modified Project Consistency with City of Carson General Plan

Relevant Policy	Analysis of Project Consistency
ED-10.4 (formerly and in FEIR, ED-11.4)	The SPA authorizes development of a vertically or horizontally integrated mixed-use project and encourages interaction among these uses to promote a lively community center. The SPA also recognizes the security and privacy needs of residents and contains standards and guidelines to shield on-site residential uses from the noise and activity likely to take place at the Property's commercial sites. The proposed modified Project's commercial activity would avoid conflict with residential development to the south and southwest of the Project site due to vertical and horizontal distance, an intervening landscaped slope and design features for that development.
OPEN SPACE AND CONSERVATION ELEMENT	
OS-1.2	Maintain existing landscaping along the City's major streets and expand the landscaping program along other arterial streets throughout the community.
OS-1.3	Require that adequate, usable and permanent private open space is provided in residential developments.
OS-4.3	Facilitate physical collection of recyclable waste.

SOURCE: RE Solutions, 2017.

CITY OF CARSON
PLANNING COMMISSION
RESOLUTION NO. 18-1635

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF CARSON RECOMMENDING CITY COUNCIL
ADOPTION OF ORDINANCE NO. _____ TO APPROVE
DEVELOPMENT AGREEMENT NO. 13-17 BETWEEN THE CITY
OF CARSON AND CAM-CARSON, LLC FOR THE DISTRICT AT
SOUTH BAY SPECIFIC PLAN PROJECT, AN APPROXIMATE
711,000 GBA SQUARE FOOT FIRST CLASS REGIONAL
FASHION OUTLET MALL; FINDINGS OF GENERAL PLAN
CONSISTENCY

WHEREAS, there is a 168-acre planning area generally located southwest of the Interstate 405 Freeway and north of the Avalon Boulevard interchange in the City of Carson, which includes 157 acres of land located south of Del Amo Boulevard. The Carson Reclamation Authority ("Authority"), the City of Carson ("City"), and CAM-CARSON, LLC, a Delaware limited liability company ("Developer") are negotiating the sale and development of approximately 41 acres of the surface-only area (the "Site") located within the afore-described planning area; and

WHEREAS, the sale and development of the Site shall be accomplished, primarily, pursuant to the terms of:

- (1) A Development Agreement, which is attached hereto as **Attachment "A"**, and
- (2) A purchase and sale agreement with Developer (the "Conveyancing Agreement") whereby Developer will acquire the Site (including certain easement agreements, as described in the Conveyancing Agreement), and
- (3) Specific Plan Amendment No. 10-17, consisting of an amendment to The Boulevards at South Bay Specific Plan (proposed to be renamed "The District at South Bay Specific Plan," hereinafter called the "Specific Plan Amendment"), and
- (4) Environmental approvals including a Supplemental Environmental Impact Report ("SEIR") pursuant to the California Environmental Quality Act, Public Resources Code §21000 et seq. (CEQA), and
- (5) Site Plan and Design Review No. 1675-17, and Sign Program No. 28-17, and
- (6) Such other permits and entitlements as may be required by the City or Authority, all collectively referred to herein as the "Entitlements"; and

WHEREAS, concurrently with consideration of the Development Agreement by the City Council, it is anticipated that (1) Authority will consider entering into a Conveyancing Agreement with Developer whereby Authority will convey and Developer will acquire the Developer